

CONTACT

BRITTANY YOUNGBLOOD
byoungblood@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

EXPRESS OIL CHANGE AND BRAKES PLUS
1880 SOUTHPARK DRIVE
BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

PROJECT DIRECTORY

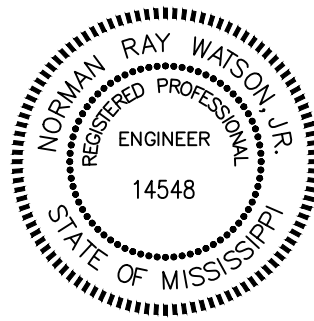
DEVELOPER
EXPRESS OIL CHANGE AND BRAKES PLUS
1880 SOUTHPARK DRIVE
BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

MEP ENGINEER
PINNACLE ENGINEERING, INC.
2111 PARKWAY OFFICE CIRCLE, SUITE 125
BIRMINGHAM, ALABAMA 35244
PHONE: 205. 733. 6912

STRUCTURAL ENGINEER
BARNETT-JONES-WILSON, LLC
125 18TH STREET NORTH
PELL CITY, ALABAMA 35125
PHONE: 205. 884. 5334

GEOTECHNICAL ENGINEER
TERRACON
1919 LAKELAND DRIVE, SUITE A
JACKSON, MISSISSIPPI 39216
PHONE: 601. 956. 4467
TERRACON PROJECT NO. EB245128

ARCHITECT
AHO ARCHITECTS, LLC.
1855 DATA DRIVE, SUITE 150
HOOVER, ALABAMA 35244
PHONE: 205. 983. 6000



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

CONSTRUCTION DRAWINGS
FOR:

EXPRESS OIL - GULFPORT
E PASS RD (ADDRESS TO BE ASSIGNED BY
PLANNING DEPARTMENT)
GULFPORT, MS
PROJECT NUMBER: EXO24005

EXPRESS OIL - GULFPORT

E PASS RD (ADDRESS TO BE ASSIGNED BY PLANNING DEPARTMENT)
GULFPORT, MISSISSIPPI 39507
HARRISON COUNTY

CONSTRUCTION DRAWINGS

PROJECT NUMBER: EXO24005

DATE: MARCH 5TH, 2025

SITE DATA TABLE

OWNER	EXPRESS OIL CHANGE AND BRAKES PLUS 1880 SOUTHPARK DRIVE - BIRMINGHAM, ALABAMA 35244 ASHLEY BERNATSKI - 205-943-5770 - ASHLEY.BERNATSKI@EXPRESSOIL.COM
SITE ADDRESS	E PASS RD (ADDRESS TO BE ASSIGNED BY PLANNING DEPARTMENT), GULFPORT, MISSISSIPPI 39507
PIN / PARCEL ID	1010F-02-022.000
TOTAL PARCEL AREA	81,795 SF / 1.878 ACRES
SITE LOCATED IN SPECIAL FLOOD HAZARD ZONE:	NO; ZONE "X" FEMA PANEL NUMBER 28047C0269G EFFECTIVE DATE: JUNE 16, 2009
ZONING	T6 (URBAN CORE ZONE) (REZONED 10/08/2024)
EXISTING USE	VACANT
PROPOSED USE	OIL CHANGE AND VEHICLE REPAIR
BUILDING HEIGHT	MAXIMUM 15'-00" PROPOSED 25' - 00"
BUILDING SIZE	5,400 SF
BUILDING SETBACK REQUIREMENTS	REQUIRED: 25' (FRONT), 0' (SIDE), 0' (REAR) PROPOSED: 25' (FRONT), 0' (SIDE), 0' (REAR)
VEHICULAR PARKING	REQUIRED: 1 SPACE/900 SF OF GROSS AREA = 6 SPACES ADA PARKING REQUIRED: 9 STANDARD & 1 VAN ACCESSIBLE SPACES 23 SPACES 1 ADA STANDARD & 1 VAN-ACCESSIBLE SPACES PROPOSED 25 TOTAL SPACES
IMPERVIOUS AREA	EXISTING: 0 SF / 0.00 AC (0% OF PARCEL) PROPOSED: 34,400 SF / 0.79 AC (42% OF PARCEL) (MAX 90%) (INCLUDING A FUTURE ALLOCATION OF 3,100 SF)
DISTURBED AREA	1.75 ACRES
LANDSCAPE/YARD SETBACK REQUIREMENTS	REQUIRED: 10' (FRONT), 0' (SIDE), 0' (REAR) PROVIDED: 10' (FRONT), 0' (SIDE), 0' (REAR)
LANDSCAPE AREA REQUIREMENTS	REQUIRED: 10% OF SITE (81,795 X 0.10 = 8,180 REQUIRED) PROVIDED: 33.9% OF SITE (27,735 SF)

SHEET INDEX

- C0.00 COVER SHEET
- C0.01 ALTA
- C1.01 DEMOLITION PLAN
- C2.00 SITE PLAN
- C2.01 GARBAGE TRUCK TURN EXHIBIT
- C3.00 GRADING AND STORM DRAINAGE PLAN
- C3.01 FINE GRADING PLAN
- C3.02 STORMWATER PROFILE
- C3.03 EXISTING DRAINAGE AREA MAP
- C3.04 PROPOSED DRAINAGE AREA MAP
- C4.00 WATER AND SEWER PLAN
- C4.01 FRANCHISE UTILITY PLAN
- C6.00 EROSION CONTROL PLAN - STAGE 1
- C6.01 EROSION CONTROL PLAN - STAGE 2
- C6.02 EROSION CONTROL PLAN - STAGE 3
- C6.03 EROSION CONTROL PLAN DETAILS
- C6.04 EROSION CONTROL PLAN DETAILS
- C7.00 PAVEMENT AND SIGNAGE PLAN
- C8.00 SITE DETAILS
- C8.01 SITE DETAILS
- C8.02 WATER DETAILS
- C8.03 SEWER DETAIL
- C8.04 STORM DETAIL
- C9.00 SCM PLAN & PROFILE
- C9.01 SCM NOTES
- C9.02 SCM DETAILS
- C9.03 SCM DETAILS
- C9.04 SCM PLANTING PLAN
- L5.00 LANDSCAPE PLAN
- L5.10 LANDSCAPE DETAILS

PROJECT NARRATIVE:

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN AN INCORPORATED AREA OF THE GULFPORT, LOCATED ON E PASS ROAD, BETWEEN PINE STREET AND HUBERT AVENUE. THE CURRENT USE IS A VACANT SITE WITH PARTIAL WOODED AREA ON A 1.878 ACRES LOT. AN AUTO-REPAIR COMMERCIAL BUILDING WITH ASSOCIATED UTILITY AND PARKING IS PROPOSED ON THIS VACANT LOT.

LOCAL PERMITTING DEPARTMENTS
& CONTACTS:

- CITY OF GULFPORT PLANNING DEPARTMENT
PHONE NUMBER: 228-868-5710
CONTACT: - SU-LIN FEATHERSON, PLANNING ADMINISTRATOR - planners@gulfport-ms.gov
- CITY OF GULFPORT PUBLIC WORKS DEPARTMENT
PHONE NUMBER: 228-868-5740
CONTACT: - TYLER GENTRY, DIRECTOR
- CITY OF GULFPORT STORMWATER MANAGEMENT
PHONE NUMBER: 228-868-5740 EXT. 6619
CONTACT: - MARK KRANINGER, mkraninger@gulfport-ms.gov
- CITY OF GULFPORT URBAN DEVELOPMENT
PHONE NUMBER: 228-868-5790
CONTACT: - GREG HOLMES, UD@gulfport-ms.gov
- CITY OF GULFPORT INSPECTION DEPARTMENT
PHONE NUMBER: 228-868-5717
CONTACT: - MIKE EDWARDS, BUILDING OFFICIALS - medwards@gulfport-ms.gov
- CITY OF GULFPORT FIRE MARSHAL DEPARTMENT
PHONE NUMBER: 228-868-5950 EXT. 6673
CONTACT: - BILLY KELLEY, FIRE CHIEF - bkelley@gulfport-ms.gov
- MDOT DIVISION HIGHWAY OFFICE (DISTRICT 6)
PHONE NUMBER: 601-544-6511
CONTACT: - BILLY OWEN, DISTRICT ENGINEER
- CENTERPOINT ENERGY
PHONE NUMBER: 228-701-0660
CONTACT: - NATHANIEL W. SCRUGGS, MARKETING CONSULTANT
- MISSISSIPPI POWER COMPANY
PHONE NUMBER: 877-656-1836

NO SUBSURFACE UTILITY SURVEY (SUE) HAS BEEN PERFORMED FOR THE PREPARATION OF THESE PLANS. ADDITIONAL UNDERGROUND UTILITIES MAY BE IN THE AREA. CONTRACTOR SHALL NOTIFY "MS811" (811) OR 1-601-362-4374 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "MS811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



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Commercial Real Estate
Due Diligence Management
3465 South Arlington Rd Suite E#183
Akron, OH 44312
866.290.8121
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ALTA/NSPS Land Title Survey

for

Gulfport MS Project

Project #20241277

East Pass Road
Gulfport, MS 39507
County of Harrison, First Judicial District

SURVEYOR'S CERTIFICATION

To EXPRESS OIL CHANGE, LLC, CHICAGO TITLE INSURANCE COMPANY and AMERICAN NATIONAL, LLC:
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 13, 14, 16, 17, 18, 19, & 20 of Table A thereof. The field work was completed on July 2, 2024.

This survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the Minimum Standards of Practice for Land Surveyors as set forth by the State of Mississippi, Board of Licensure for Professional Engineers and Surveyors and that the accuracy, specification, and positional tolerances are in accordance with Class "B" surveys indicated in the above standards. I also certify there are no visible encroachments across any public right-of-way as shown.

Wayne M. Voss, Jr., PS,
Date of Survey: July 3, 2024
Reg. No. 32711

This survey plot is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

Survey Prepared By:
Cassady-Acadia Land Surveying, LLC
#1714 22nd Avenue, Gulfport, MS 39501
Ph: (228)896-7155 Fx: (228)896-8405
Email: Surveys@Cassady-Acadia.com

CASSADY-ACADIA
LAND SURVEYING, LLC Since 1947
Louisiana, Mississippi, Texas & Alabama
Filenome: 24-02-271 ALTA.dwg

Title Commitment Legal Description

Beginning at the intersection of the North line of Pass Christian Road with the West line of Pine Street, in Handsboro, Mississippi; Thence Westerly along the North line of the said Pass Christian Road 458 feet to the point of beginning of the property herein described; from said point of beginning run South 75 degrees 48 minutes West 177 feet along the North margin of Pass Christian Road; thence North 07 degrees 10 minutes West 380 feet to a point; thence North 89 degrees 21 minutes East 43.3 feet to a point; thence North 00 degrees 14 minutes East 66 feet to a point; thence North 77 degrees 40 minutes East 174.5 feet to a point; thence South 00 degrees 39 minutes East 437.7 feet to the North margin of the Pass Christian Road and the point of beginning. The above-described property being bounded on the South by Pass Christian Road, on the West by A. Barrett, now Parker, on the North by Fowkes, formerly Myers, and on the East by the Handsboro Water Company. The above described property located in and a part of the Southwest one-fourth of the Southeast one-fourth of Section 30, Township 7 South, Range 10 West, Harrison County.

Being the same property conveyed by Mrs. Isa Laird, Mrs. Annie Todd, Mrs. Ada Reynolds, Mrs. Flora Tunstall and Raymond W. Laird, Executor of the Estate of Alice Taylor, deceased, to H. H. Burnett and Gene Warr in that certain Warranty Deed dated March 16, 1968, and recorded in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi in the land deed records in Book 611 at Page 306. Further being the same property conveyed by H. H. Burnett to Gene Warr in that certain Warranty Deed dated April 3, 1969, and recorded in the office of the Chancery Clerk of the First Judicial District of Harrison County, Mississippi in the land deed records in Book 640 at Page 367. Parcel number 1010F-02-022.000.

The above described parcel is the same parcel as described in Chicago Title Insurance Company, Commitment No. 241012, bearing an effective date of May 17, 2024, at 8:00 AM.

Survey Legal Description

A parcel of land situated and being located in the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) and the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 30, Township 7 South, Range 10 West, City of Gulfport, First Judicial District of Harrison County, Mississippi, and being more particularly described as follows, to-wit:

COMMENCING at the intersection of the westerly margin of Pine Street with the northerly margin of Pass Road; thence run South 74 degrees 20 minutes 33 seconds West along the northerly margin of Pass Road a distance of 183 feet, more or less, to a 1/2-inch iron rod; thence run South 74 degrees 20 minutes 33 seconds West along the northerly margin of Pass Road a distance of 153.26 feet to a 1/2-inch iron rod; thence run South 75 degrees 24 minutes 21 seconds West along the northerly margin of Pass Road a distance of 176.99 feet to a 3/4-inch iron rod and the POINT OF BEGINNING of the property herein described;

Thence run from said POINT OF BEGINNING South 75 degrees 51 minutes 36 seconds West along the northerly margin of Pass Road a distance of 176.54 feet to a 1/2-inch iron rod; thence departing the northerly margin of Pass Road, run North 07 degrees 00 minutes 44 seconds West a distance of 369.72 feet to a 1/2-inch iron pipe; thence run North 88 degrees 37 minutes 33 seconds East a distance of 43.08 feet to a 1-inch iron pipe; thence run North 00 degrees 36 minutes 09 seconds East and along a wood fence line a distance of 66.00 feet to a point; thence run North 77 degrees 54 minutes 44 seconds East a distance of 174.50 feet to a cut "X"; thence run South 00 degrees 15 minutes 32 seconds East a distance of 427.40 feet to the POINT OF BEGINNING.
Said parcel contains 1.878 acres, more or less.

Legend of Symbols & Abbreviations

FOUND PROPERTY MARKER (AS NOTED)	○	ELEVATION OF TOP OF CURB	18.50 TC
SET 3/4" IRON ROD (UNLESS NOTED OTHERWISE)	●	ELEVATION OF FACE OF CURB	18.00 FC
EXISTING POWER POLE	⊗	EXISTING GROUND CONTOUR LINE	-----5-----
EXISTING POWER POLE WITH LIGHT	⊗	EXISTING SUBSURFACE DRAINAGE	=====
EXISTING GUY ANCHOR	→	EXISTING AREA INLET CATCH BASIN	■
EXISTING OVERHEAD POWER LINE	—○—	EXISTING CURB INLET CATCH BASIN	□
EXISTING TELEPHONE PEDESTAL	□	EXISTING FIRE HYDRANT	⊕
EXISTING CHAIN LINK FENCE LINE	—○—	EXISTING WATER METER	WM ○
EXISTING WOOD FENCE LINE	—○—	EXISTING TERRA-COTTA PIPE	8" TC
EXISTING MAILBOX	□	EXISTING REINFORCED CONCRETE PIPE	18" RCP
ELEVATION OF TOP OF STRUCTURE	TOP = 18.00	EXISTING CORRUGATED METAL PIPE	24" CMP
ELEVATION OF BOTTOM OF STRUCTURE	INV. = 15.00	EXISTING HIGH DENSITY POLYETHYLENE PIPE	12" HDPE
EXISTING SPOT ELEVATION	X 10.63		

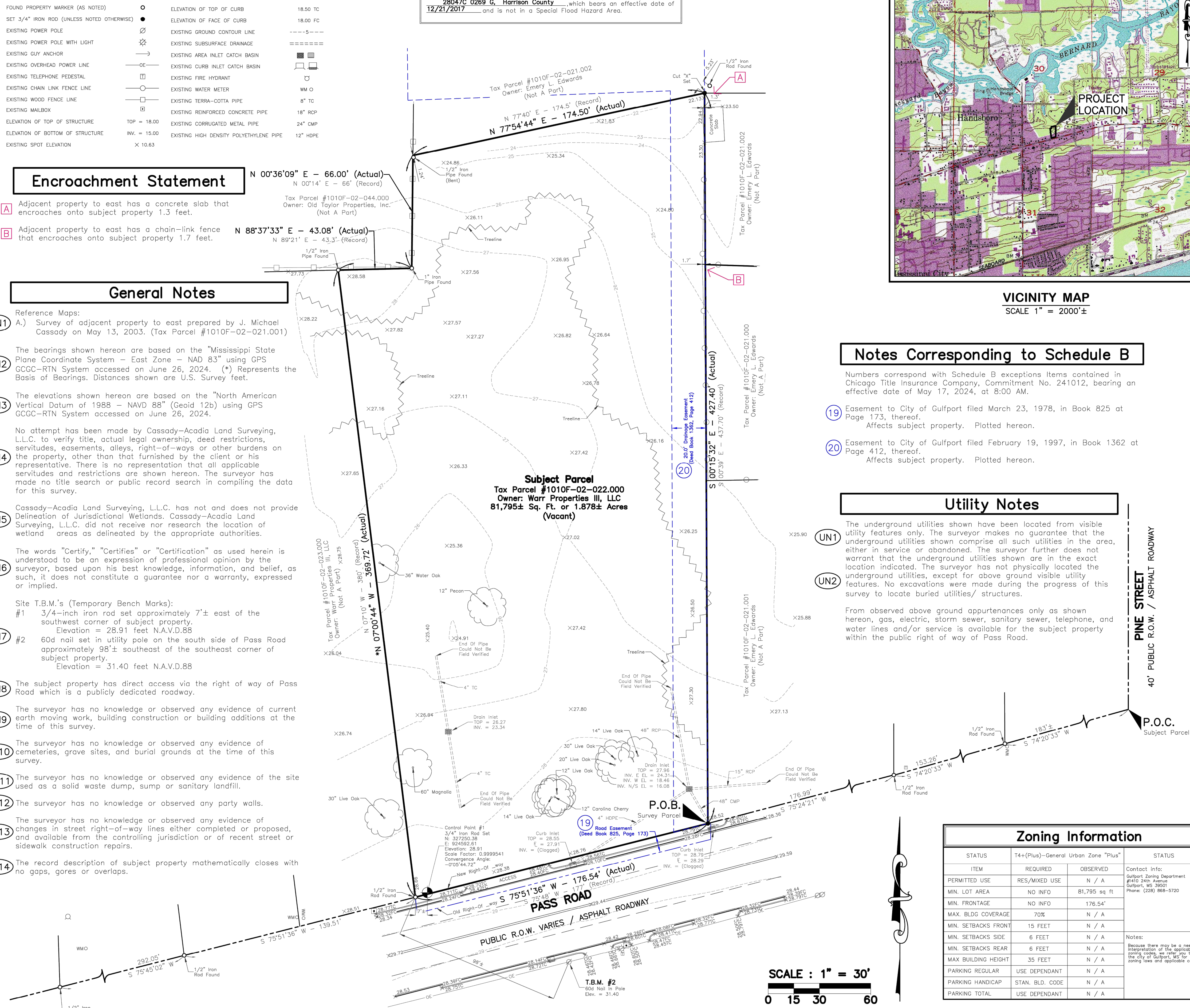
Encroachment Statement

- A Adjacent property to east has a concrete slab that encroaches onto subject property 1.3 feet.
- B Adjacent property to east has a chain-link fence that encroaches onto subject property 1.7 feet.

General Notes

- Reference Maps:
A.) Survey of adjacent property to east prepared by J. Michael Cassidy on May 13, 2003. (Tax Parcel #1010F-02-021.001)
- GN1 The bearings shown hereon are based on the "Mississippi State Plane Coordinate System - East Zone - NAD 83" using GPS GCGC-RTN System accessed on June 26, 2024. (*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
- GN2 The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12b) using GPS GCGC-RTN System accessed on June 26, 2024.
- GN3 No attempt has been made by Cassady-Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, deed restrictions, servitudes, easements, alleys, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
- GN4 Cassady-Acadia Land Surveying, L.L.C. has not and does not provide Delineation of Jurisdictional Wetlands. Cassady-Acadia Land Surveying, L.L.C. did not receive nor research the location of wetland areas as delineated by the appropriate authorities.
- GN5 The words "Certify," "Certifies" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.
- GN6 Site T.B.M.'s (Temporary Bench Marks):
#1 3/4-inch iron rod set approximately 7'± east of the southwest corner of subject property.
Elevation = 28.91 feet N.A.V.D.88
#2 60d nail set in utility pole on the south side of Pass Road approximately 98'± southeast of the southeast corner of subject property.
Elevation = 31.40 feet N.A.V.D.88
- GN7 The subject property has direct access via the right of way of Pass Road which is a publicly dedicated roadway.
- GN8 The surveyor has no knowledge or observed any evidence of current earth moving work, building construction or building additions at the time of this survey.
- GN9 The surveyor has no knowledge or observed any evidence of cemeteries, grave sites, and burial grounds at the time of this survey.
- GN10 The surveyor has no knowledge or observed any evidence of the site used as a solid waste dump, sump or sanitary landfill.
- GN11 The surveyor has no knowledge or observed any party walls.
- GN12 The surveyor has no knowledge or observed any evidence of changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction or of recent street or sidewalk construction repairs.
- GN13 The record description of subject property mathematically closes with no gaps, gores or overlaps.
- GN14

FLOOD NOTE: By graphic plotting only, this property is in Zone(s) of the Flood Insurance Rate Map, Community Panel No. 28047C 0269 G, Harrison County, which bears an effective date of 12/21/2017 and is not in a Special Flood Hazard Area.



Notes Corresponding to Schedule B

Numbers correspond with Schedule B exceptions items contained in Chicago Title Insurance Company, Commitment No. 241012, bearing an effective date of May 17, 2024, at 8:00 AM.

- 19 Easement to City of Gulfport filed March 23, 1978, in Book 825 at Page 173, thereof.
Affects subject property. Plotted hereon.
- 20 Easement to City of Gulfport filed February 19, 1997, in Book 1362 at Page 412, thereof.
Affects subject property. Plotted hereon.

Utility Notes

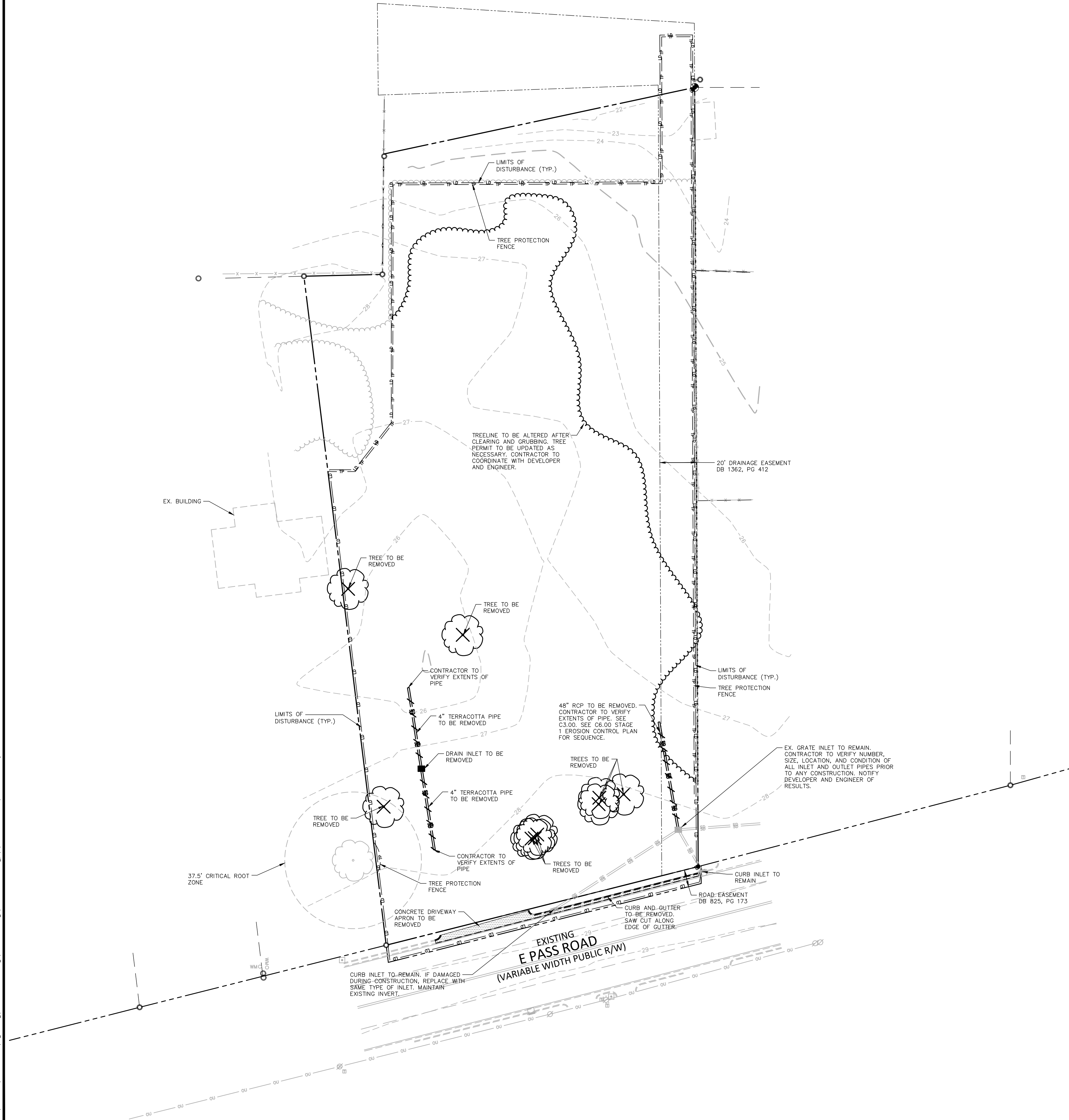
- UN1 The underground utilities shown have been located from visible utility features only. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/ structures.
- UN2

From observed above ground appurtenances only as shown hereon, gas, electric, storm sewer, sanitary sewer, telephone, and water lines and/or service is available for the subject property within the public right of way of Pass Road.

Zoning Information

STATUS	T4+(Plus)-General Urban Zone "Plus"	STATUS
ITEM	REQUIRED	OBSERVED
PERMITTED USE	RES/MIXED USE	N / A
MIN. LOT AREA	NO INFO	81,795 sq ft
MIN. FRONTAGE	NO INFO	176.54'
MAX. BLDG COVERAGE	70%	N / A
MIN. SETBACKS FRONT	15 FEET	N / A
MIN. SETBACKS SIDE	6 FEET	N / A
MIN. SETBACKS REAR	6 FEET	N / A
MAX BUILDING HEIGHT	35 FEET	N / A
PARKING REGULAR	USE DEPENDANT	N / A
PARKING HANDICAP	STAN. BLD. CODE	N / A
PARKING TOTAL	USE DEPENDANT	N / A

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DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

RIGHT-OF-WAY OBSTRUCTION NOTES:

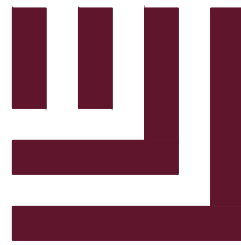
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE MDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", MDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE MDOT SUPPLEMENT TO THE MUTCD.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION INCLUDING TREE REMOVAL PERMIT.

DEMOLITION NOTES:

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO COORDINATOR UTILITY CUT OFF TO EXISTING STRUCTURES/SYSTEMS WITH APPROPRIATE UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACEMENT OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS, INCLUDING EXCAVATION & TRENCH SAFETY.
- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

TRAFFIC CONTROL NOTES:

- THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.



McADAMS

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

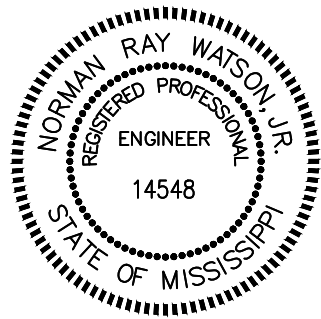
phone 972. 436. 9712
fax 972. 436. 9715
MS license number: 33729

www.mcadamsco.com

CLIENT

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1880 SOUTHPARK DRIVE
BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
BY PLANNING DEPARTMENT)
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REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
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PLAN INFORMATION

PROJECT NO. EXO24005
FILENAME EXO24005-DM1
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

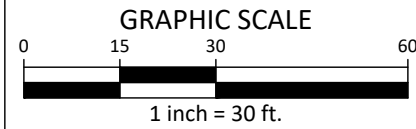
SHEET

DEMOLITION PLAN

C1.01

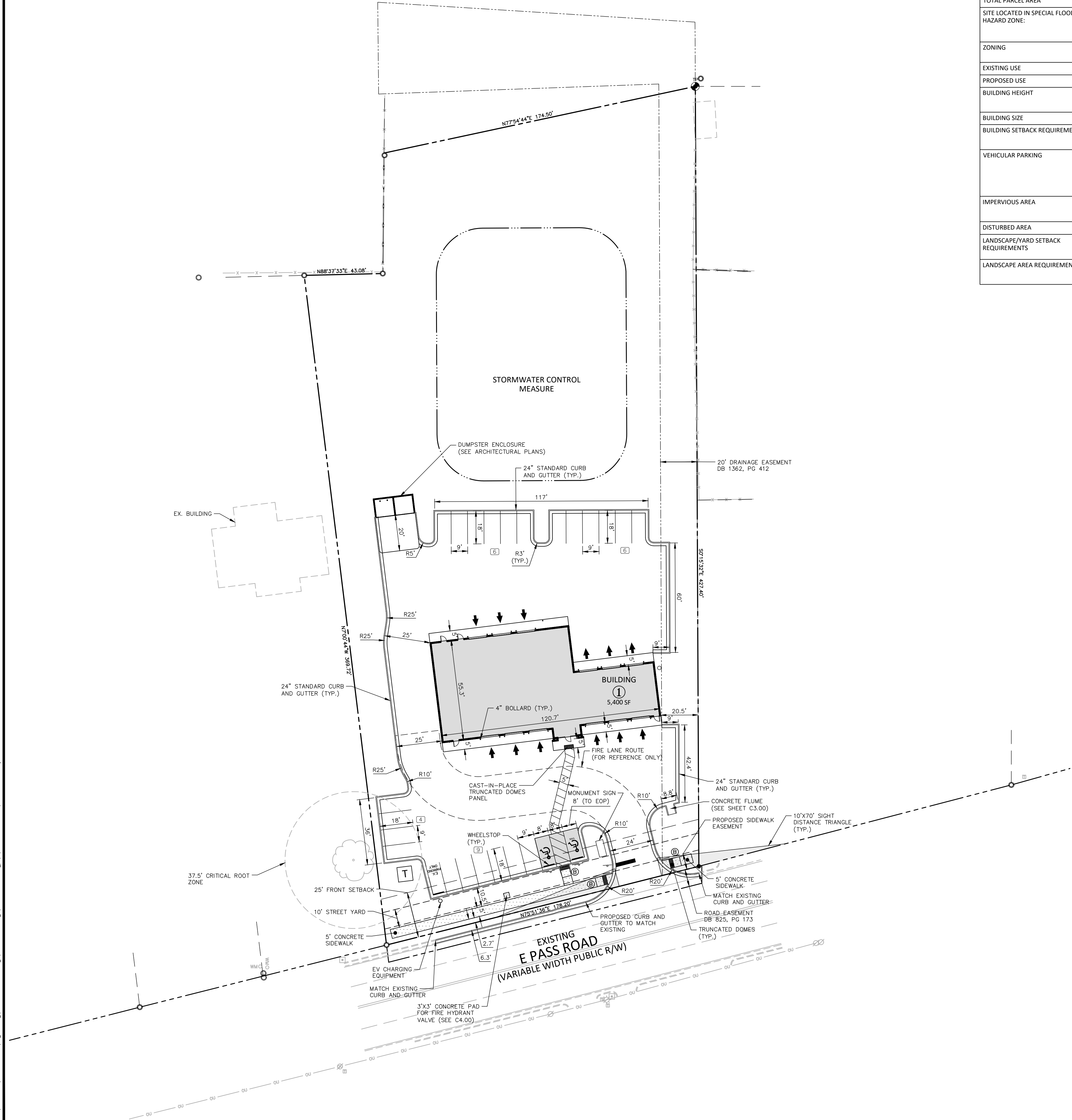


ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION

Z:\Drive Projects\EX01\EX024005\04-Production\Engineering\Construction Drawings\EX024005-01.dwg, 3/5/2025, 12:39:23 PM, Matthew Delaney

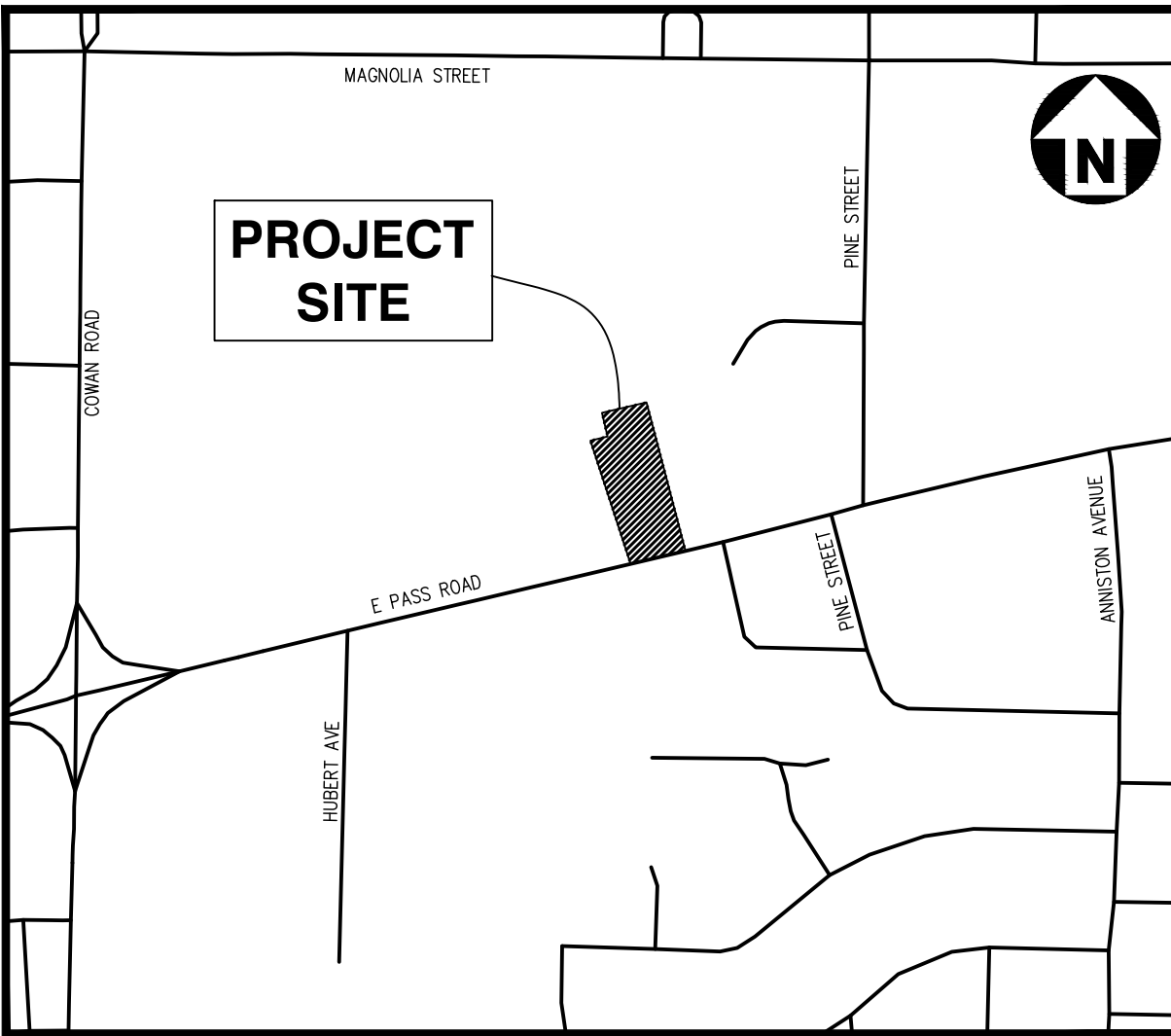


SITE DATA TABLE	
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ZONING	T6 (URBAN CORE ZONE) (REZONED 10/08/2024)
EXISTING USE	VACANT
PROPOSED USE	OIL CHANGE AND VEHICLE REPAIR
BUILDING HEIGHT	MAXIMUM 15'-00" PROPOSED 25' - 00"
BUILDING SIZE	5,400 SF
BUILDING SETBACK REQUIREMENTS	REQUIRED: 25' (FRONT), 0' (SIDE), 0' (REAR) PROPOSED: 25' (FRONT), 0' (SIDE), 0' (REAR)
VEHICULAR PARKING	REQUIRED: 1 SPACE/900 SF OF GROSS AREA = 6 SPACES ADA PARKING REQUIRED: 0 STANDARD & 1 VAN ACCESSIBLE SPACES 23 SPACES 1 ADA STANDARD & 1 VAN-ACCESSIBLE SPACES PROPOSED 25 TOTAL SPACES
IMPERVIOUS AREA	EXISTING: 0 SF / 0.00 AC (0% OF PARCEL) PROPOSED: 34,400 SF / 0.79 AC (42% OF PARCEL) (MAX 90%)
DISTURBED AREA	1.75 ACRES
LANDSCAPE/YARD SETBACK REQUIREMENTS	REQUIRED: 10' (FRONT), 0' (SIDE), 0' (REAR) PROVIDED: 10' (FRONT), 0' (SIDE), 0' (REAR)
LANDSCAPE AREA REQUIREMENTS	REQUIRED: 10% OF SITE (81,795 SF X 0.10 = 8,180 SF REQUIRED) PROVIDED: 33.9% OF SITE (27,735 SF)

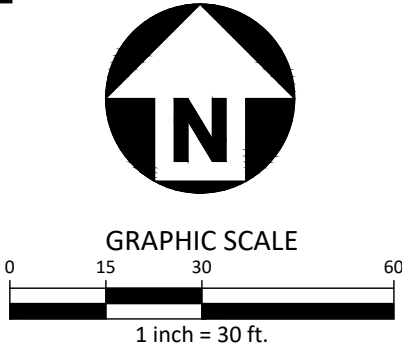
SITE LEGEND	
	SIGNAGE
	PR. LIGHT POLE (SEE PHOTOMETRIC PLAN)
	EX. LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE

SITE PLAN NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF GULFPORT AND/OR MDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "MS811" (811) OR 1-601-362-4374 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "MS811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF GULFPORT PUBLIC WORKS DEPARTMENT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER IF REQUIRED. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF CITY OF GULFPORT AND MISSISSIPPI SPECIFICATIONS AND STANDARDS.
- SIGNAGE TO BE PERMITTED SEPARATELY BY SIGN COMPANY.



VICINITY MAP
SCALE: NTS



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FINAL DRAWING - ISSUED FOR CONSTRUCTION



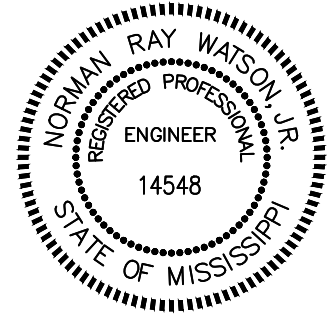
phone 972. 436. 9712
fax 972. 436. 9715
MS license number: 33729

www.mcadamsco.com

CLIENT

EXPRESS OIL CHANGE AND BRAKES PLUS
1880 SOUTHPARK DRIVE
BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
BY PLANNING DEPARTMENT)
GULFPORT, MISSISSIPPI 39507



REVISIONS

NO.	DATE	DESCRIPTION
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3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

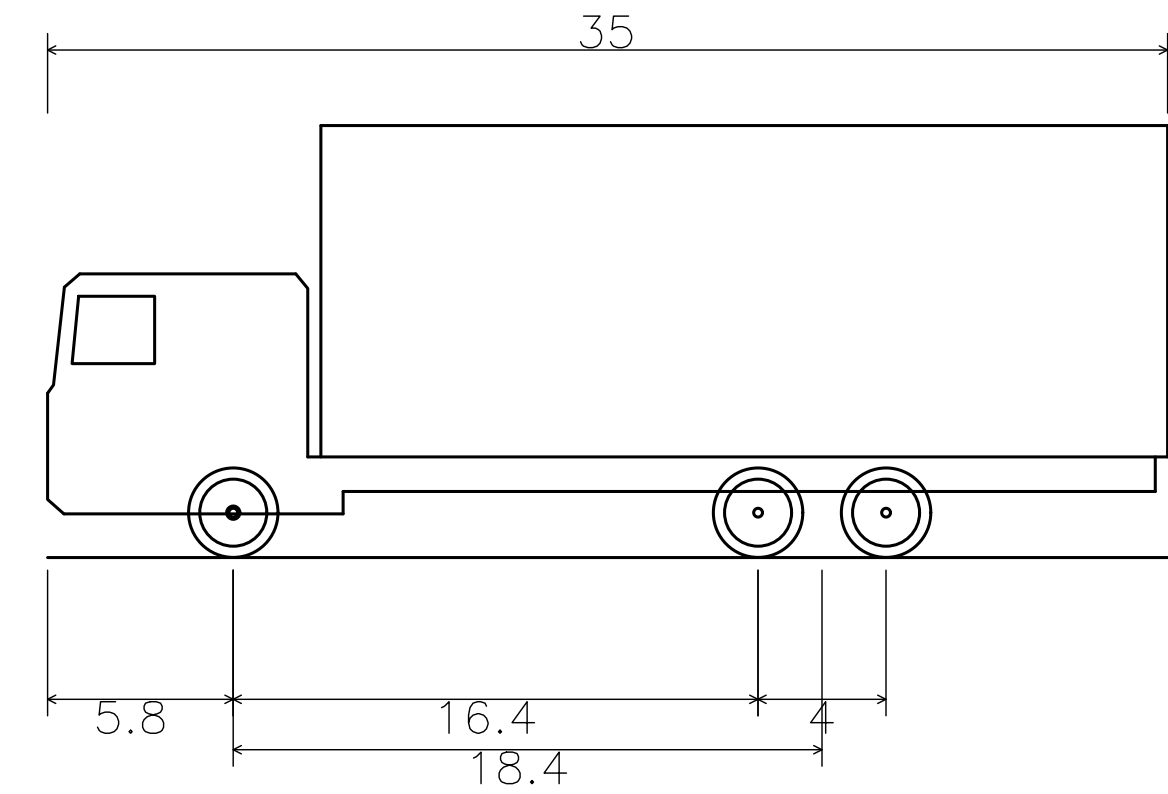
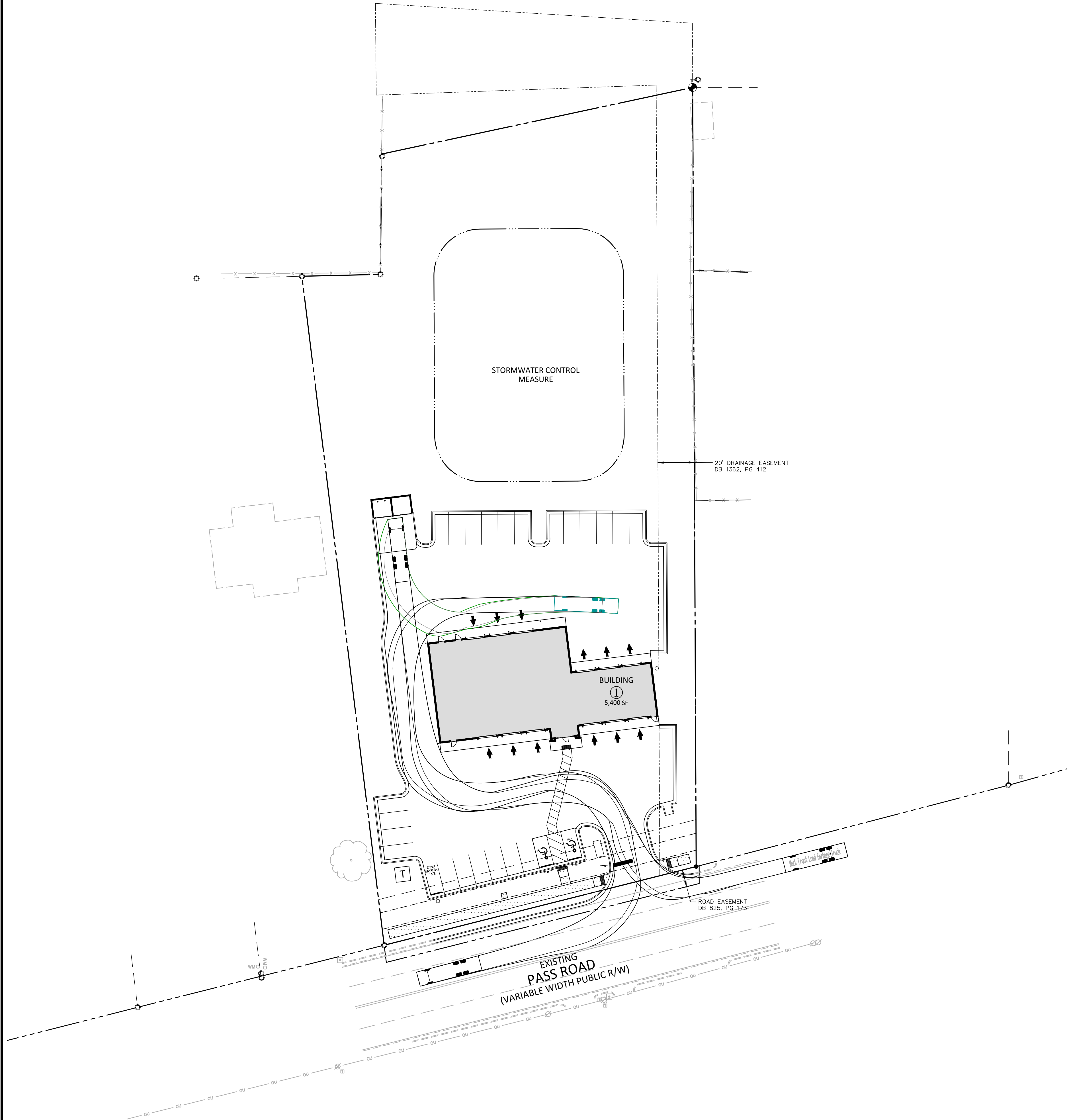
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FILENAME	EX024005-01
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	1" = 30'
DATE	03.05.2025

SHEET

SITE PLAN

C2.00

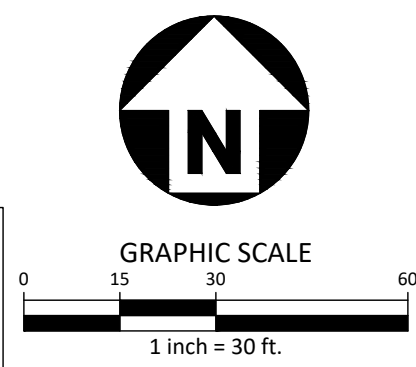
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Mack Front Load Garbage Truck
Overall Length 35.000ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.367ft
Track Width 8.000ft
Lock-to-lock time 5.00s
Wall to Wall Turning Radius 46.000ft



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION



McADAMS

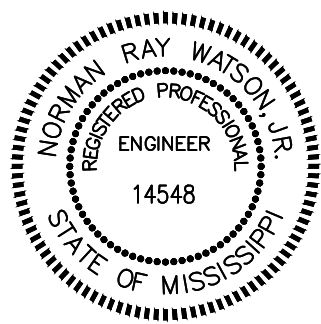
The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972. 436. 9712
fax 972. 436. 9715
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PLAN INFORMATION

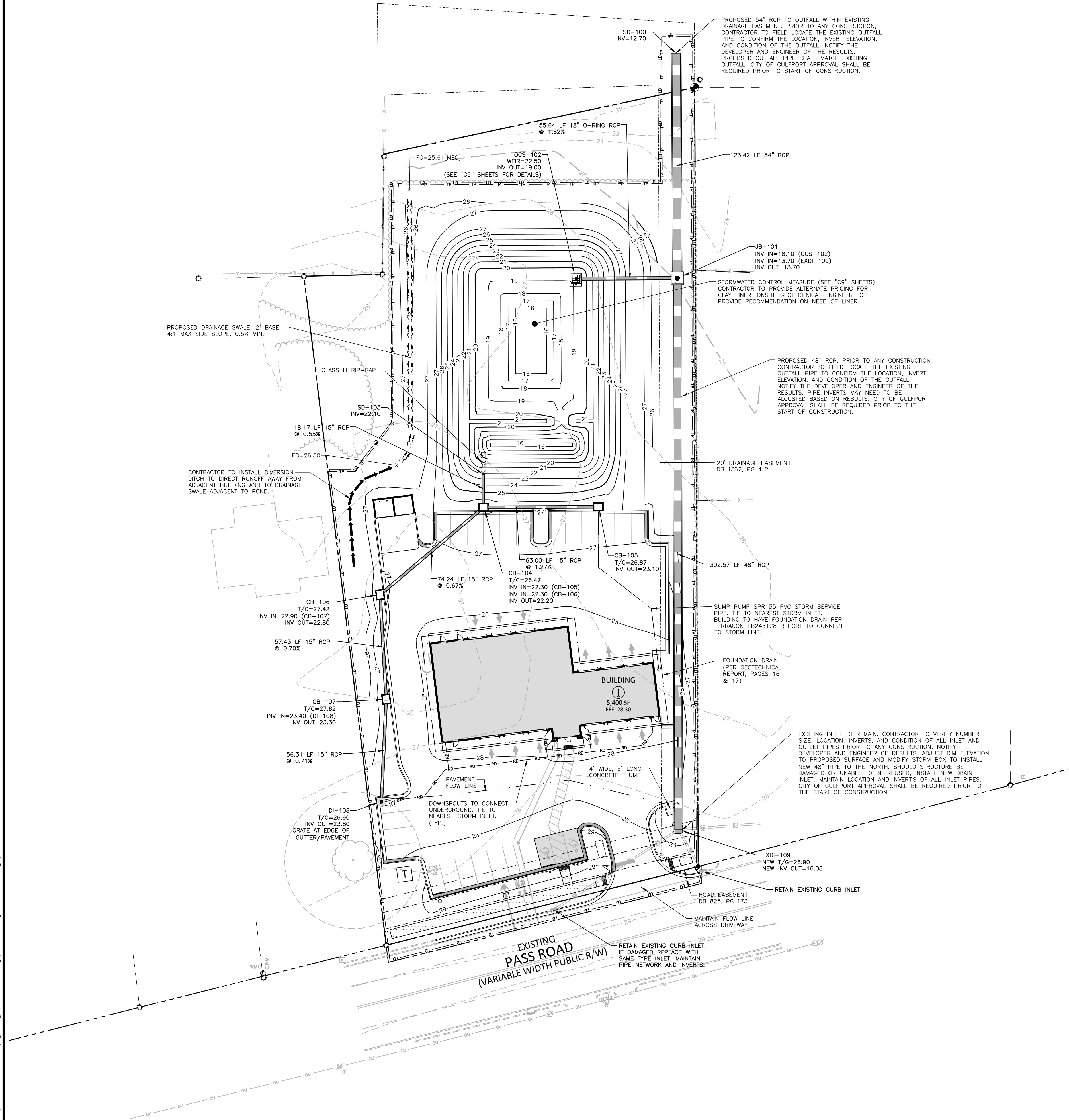
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FILENAME EXO24005-S2
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

**GARBAGE TRUCK TURN
EXHIBIT**

C2.01

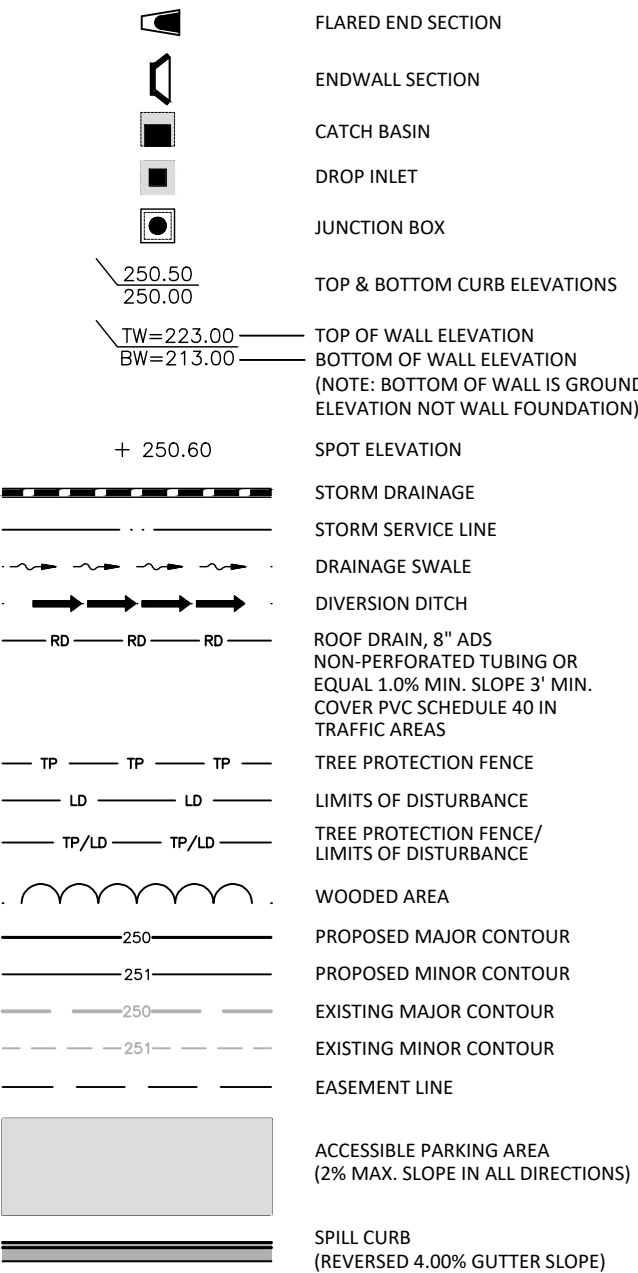
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SITE TEMPORARY BENCH MARKS:

- 3/4-INCH IRON ROD SET APPROXIMATELY 7'± EAST OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
ELEVATION = 28.91 FEET N.A.V.D.88
- 60d NAIL SET IN UTILITY POLE ON THE SOUTH SIDE OF PASS ROAD APPROXIMATELY 98'± SOUTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION = 31.40 FEET N.A.V.D.88

GRADING LEGEND



GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE MUNICIPALITY AND/OR MDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "MS811" (811) OR 1-601-362-4374 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "MS811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- A 5'x5' LANDING WITH A MAXIMUM OF 2% SLOPE IN ANY DIRECTION AT ALL DOORS.
- ALL SIDEWALKS TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTIONAL.
- ALL ADA CROSSWALK TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTIONAL.

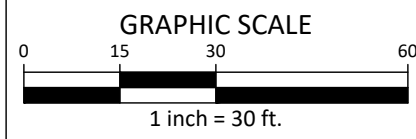
STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE RCP PIPES UNLESS NOTED OTHERWISE. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES (MINIMUM CLASS III). CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE MUNICIPALITY STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET MDOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
- "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY LOCAL AND STATE MUNICIPALITY STORMWATER DEPARTMENT.

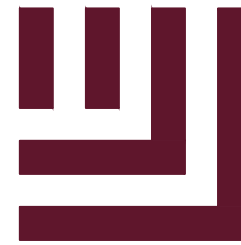
IMPERVIOUS SURFACE = 34,400 SF / 0.79 AC (42% OF PARCEL)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

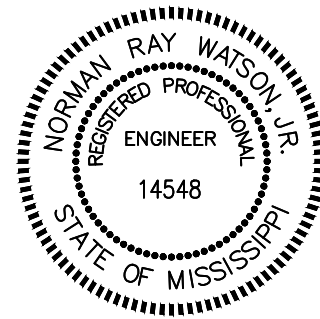
phone 972. 436. 9712
fax 972. 436. 9715
MS license number: 33729

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BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
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REVISIONS

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PLAN INFORMATION

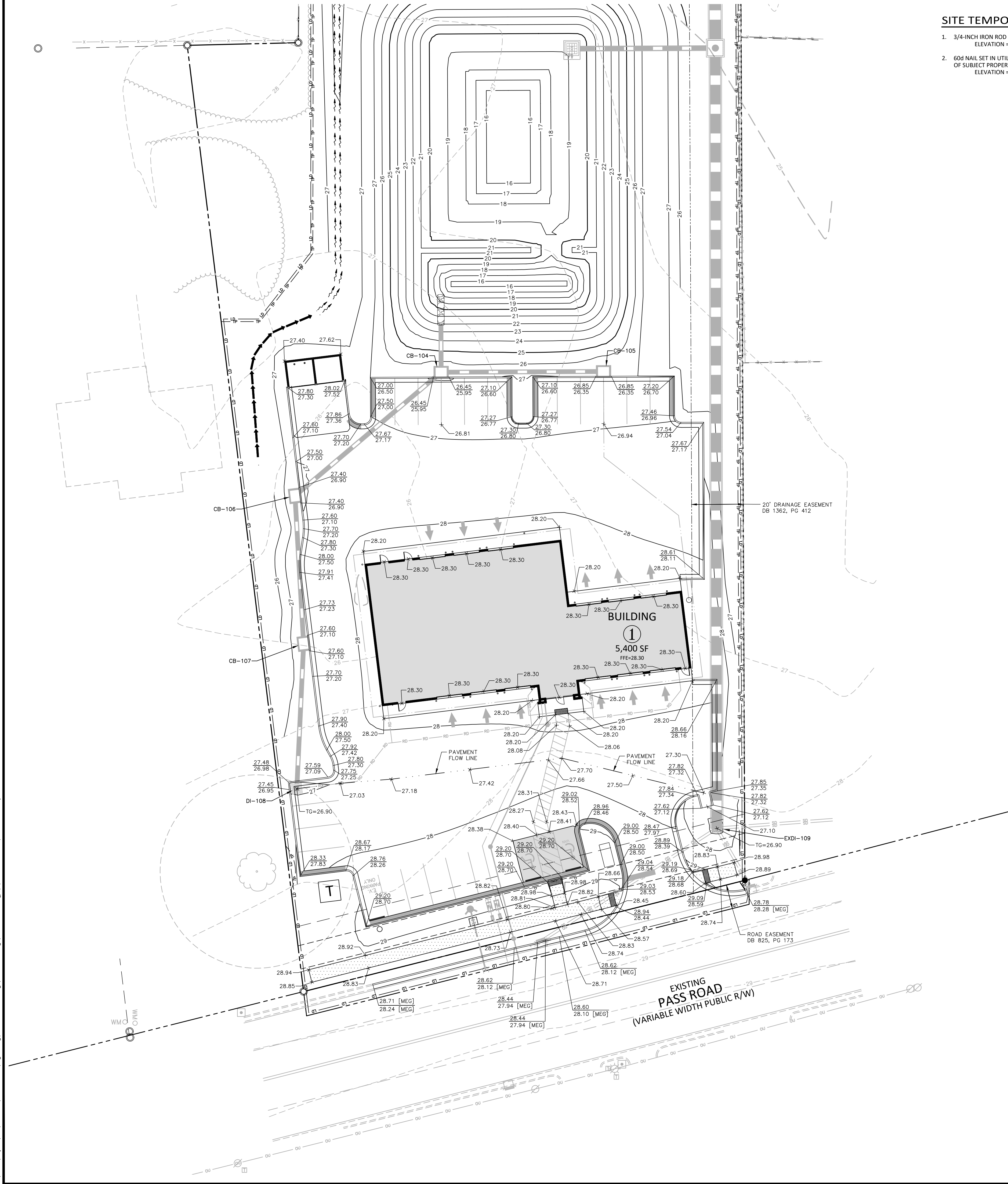
PROJECT NO. EXO24005
FILENAME EXO24005-G1
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

GRADING AND STORM
DRAINAGE PLAN

C3.00

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SITE TEMPORARY BENCH MARKS:

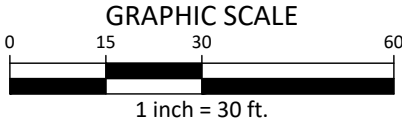
- 3/4-INCH IRON ROD SET APPROXIMATELY 7± EAST OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY.
ELEVATION = 28.91 FEET N.A.V.D.88
- 60d NAIL SET IN UTILITY POLE ON THE SOUTH SIDE OF PASS ROAD APPROXIMATELY 98± SOUTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION = 31.40 FEET N.A.V.D.88

GRADING LEGEND

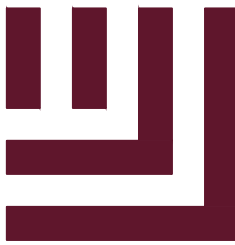
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- JUNCTION BOX
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
TW=273.00
BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
BW=213.00
- SPOT ELEVATION
+ 250.60
- STORM DRAINAGE
- STORM SERVICE LINE
- DRAINAGE SWALE
- DIVERSION DITCH
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
TP/LD TP/LD
- WOODED AREA
- PROPOSED MAJOR CONTOUR
-250-
- PROPOSED MINOR CONTOUR
-251-
- EXISTING MAJOR CONTOUR
-250-
- EXISTING MINOR CONTOUR
-251-
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)
- SPILL CURBS
(REVERSED 4.00% GUTTER SLOPE)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF GULFPORT
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION



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fax 972. 436. 9715

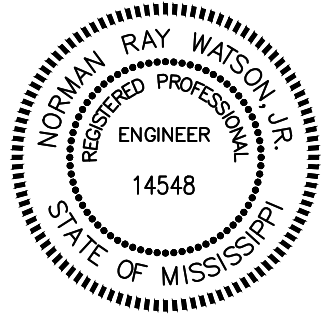
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PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
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NO.	DATE	DESCRIPTION
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PLAN INFORMATION

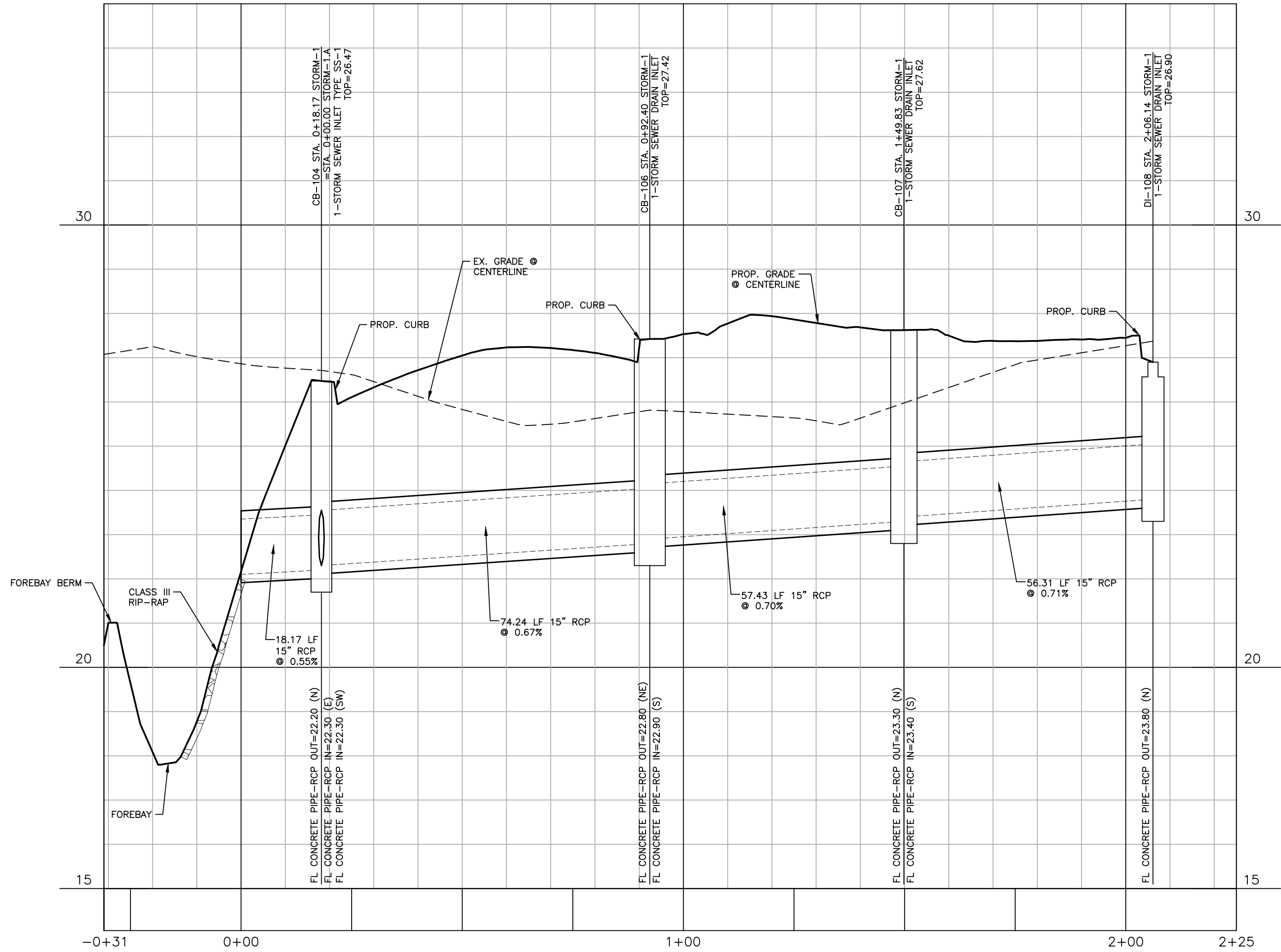
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DATE 03.05.2025

SHEET

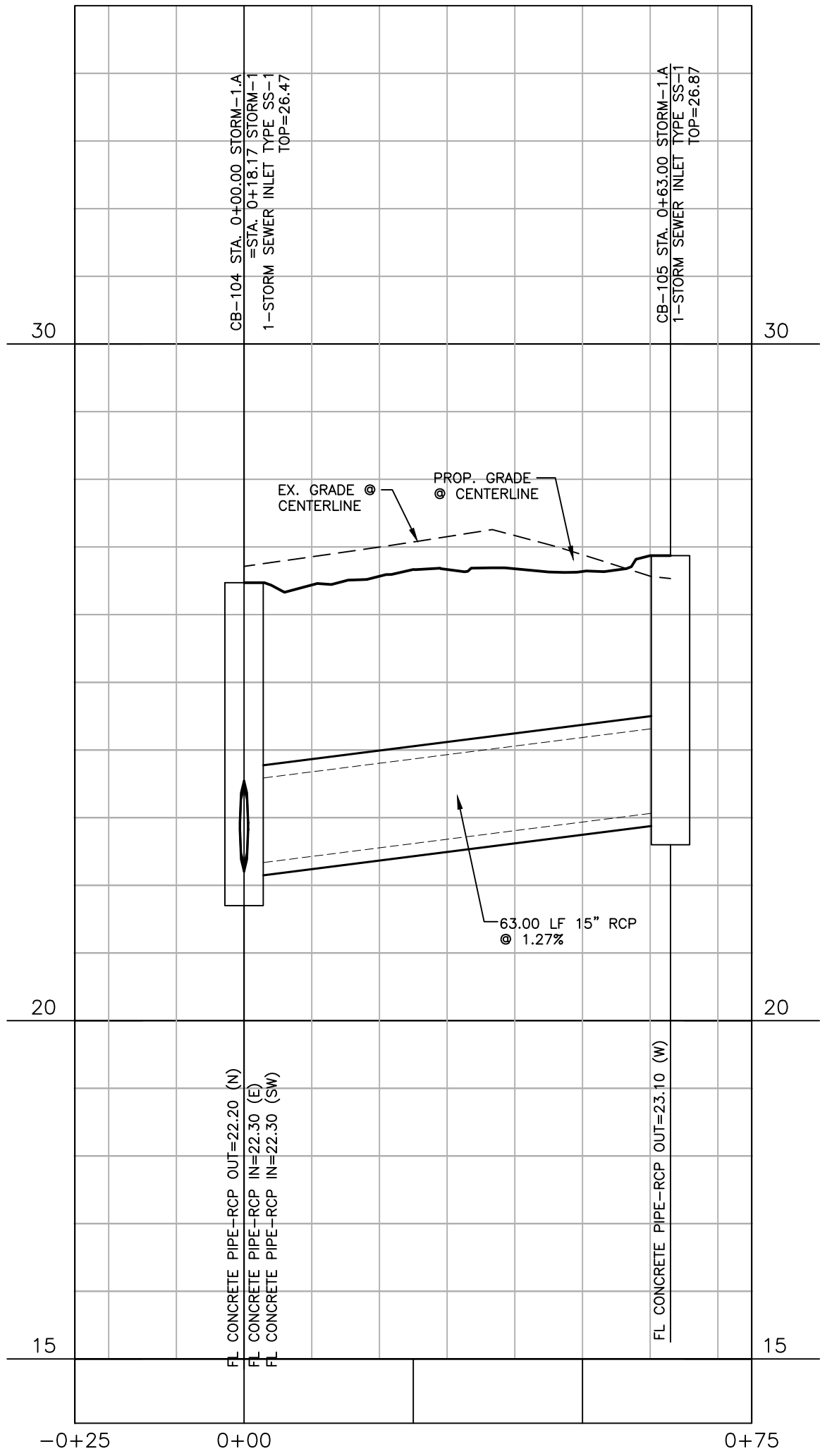
FINE GRADING PLAN

C3.01

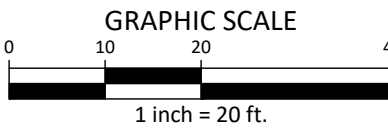
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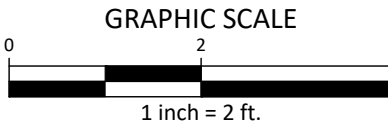
STORM-1.A



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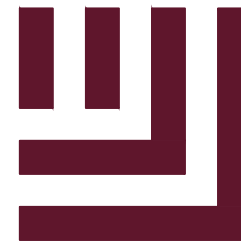


VERTICAL SCALE:



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
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STANDARDS

FINAL DRAWING - ISSUED FOR CONSTRUCTION



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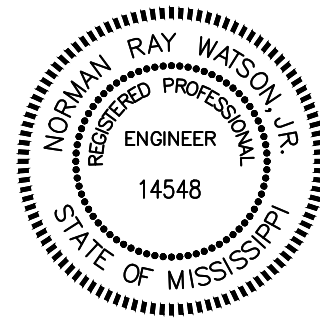
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PLAN INFORMATION

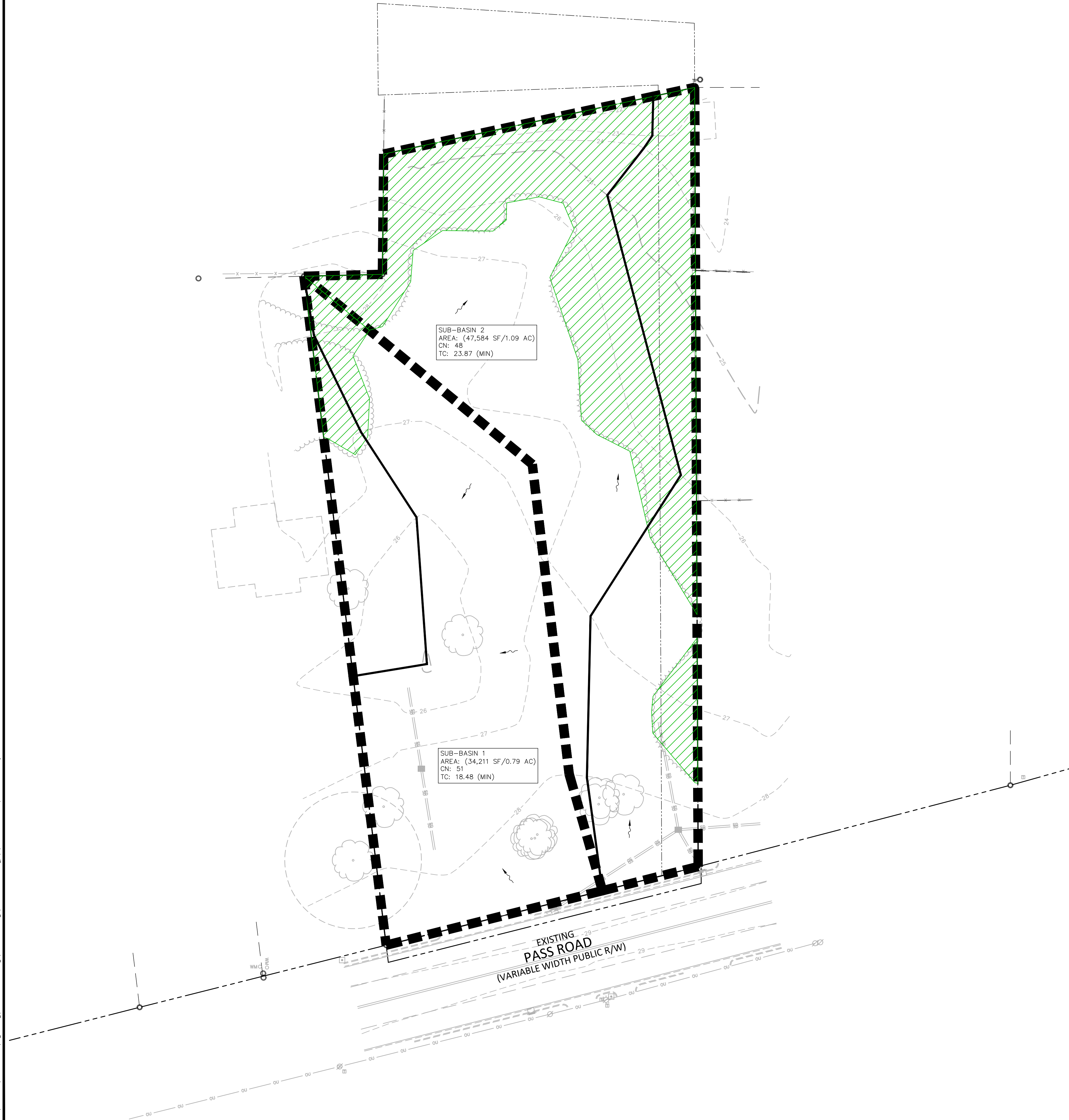
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FILENAME EXO24005-P1
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SCALE 1" = 20'
DATE 03. 05. 2025

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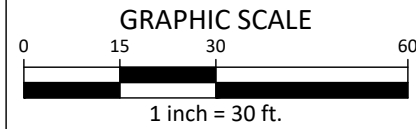
STORMWATER PROFILE

C3.02

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DRAINAGE AREA LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	FLOW LINE
	SUB-BASIN BOUNDARY
	WOODED AREA



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF GULFPORT
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

FINAL DRAWING - ISSUED FOR CONSTRUCTION

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Lewisville, Texas 75056

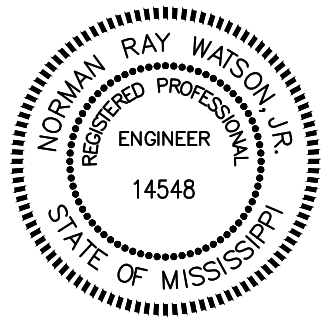
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BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
BY PLANNING DEPARTMENT)
GULFPORT, MISSISSIPPI 39507



REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

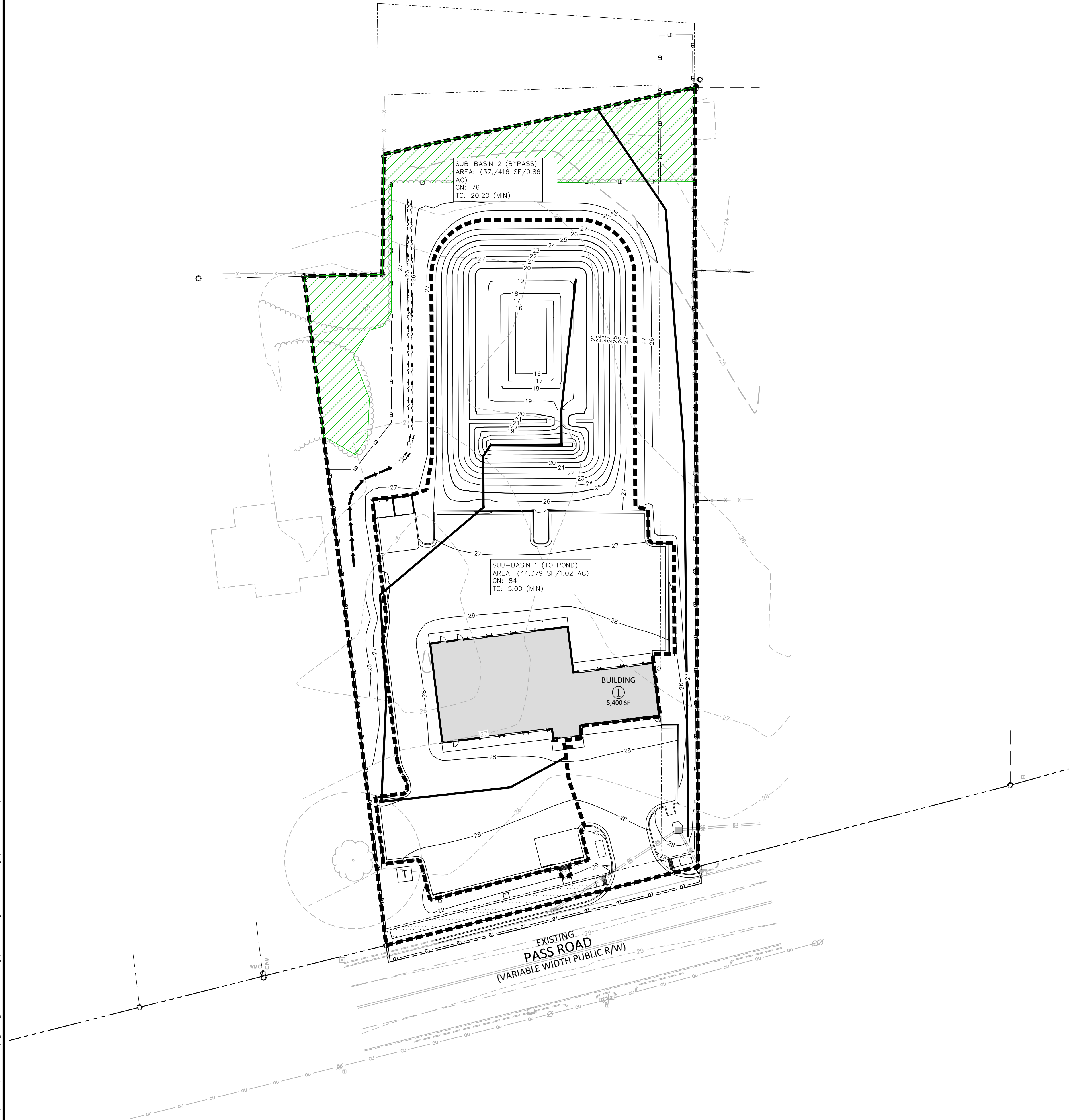
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FILENAME	EX024005-DA1
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	1" = 30'
DATE	03.05.2025

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EXISTING DRAINAGE
AREA MAP

C3.03

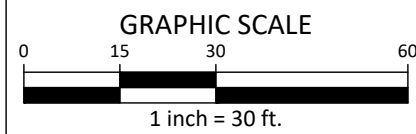
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DRAINAGE AREA LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- FLOW LINE
- SUB-BASIN BOUNDARY
- WOODED AREA

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION

McADAMS
The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

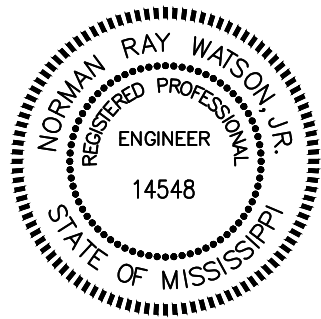
phone 972. 436. 9712
fax 972. 436. 9715
MS license number: 33729

www.mcadamsco.com

CLIENT

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1880 SOUTHPARK DRIVE
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PHONE: 205-943-5770

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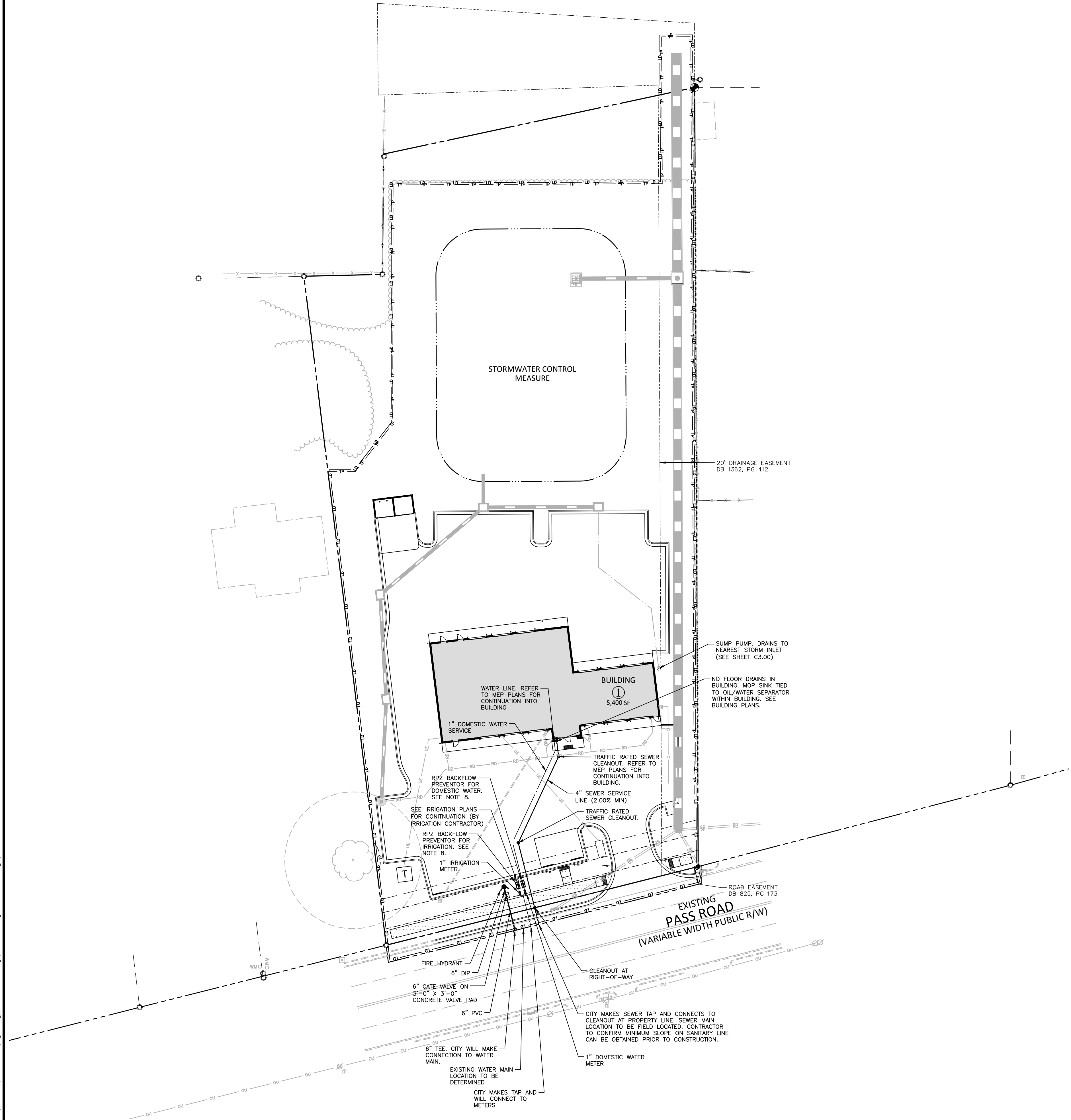
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FILENAME EX024005-DA2
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

PROPOSED DRAINAGE AREA MAP

C3.04

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UTILITY LEGEND

FIRE HYDRANT ASSEMBLY		POWER POLE	
FIRE DEPARTMENT CONNECTION (FDC)		LINE BREAK SYMBOL	
METER & VAULT		WATER LINE	
WATER VALVE		IRRIGATION LINE	
POST INDICATOR VALVE		SANITARY SEWER	
VALVE IN MANHOLE		SEWER SERVICE LINE	
BACKFLOW PREVENTER		EASEMENT LINE	
REDUCER		TEMPORARY CONSTRUCTION EASEMENT	
PLUG		FENCE	
BLOW-OFF ASSEMBLY		TREE PROTECTION FENCE	
SANITARY SEWER MANHOLE			
SEWER CLEAN-OUT			
GREASE TRAP			
SEWER FLOW DIRECTION ARROW			
LIGHT POLE			

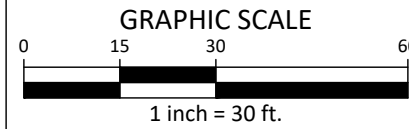
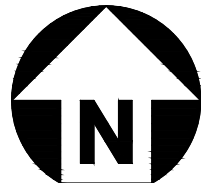
UTILITY NOTES:

- ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) OR DUCTILE IRON PIPE TO THE WATER METER. (SEE PLANS)
- ALL SEWER MAINS SHALL BE EITHER SDR 26 PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET LOCAL AND STATE STANDARDS AND SPECIFICATIONS.
- ALL UNDERGROUND UTILITIES INSTALLED SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE LOCAL AND STATE MUNICIPALITIES PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL NOTIFY "MS811" (811) OR 1-601-362-4374 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "MS811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.
- RPZ BACKFLOW PREVENTOR TO BE IN AN INSULATED ENCLOSURE WITH A 10 VOLT GFCI ELECTRICAL RECEPTACLE AND TO BE PER APPROVED LIST, SECTION 02665, CITY OF GULFPORT SPECIFICATIONS.

UTILITY CONTACTS:

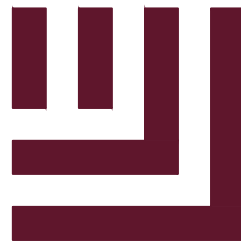
WATER: CITY OF GULFPORT
PHONE: 228-868-5720

SANITARY: CITY OF GULFPORT
PHONE: 228-868-5720



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McAdams

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4400 State Highway 121, Suite 800
Lewisville, Texas 75056

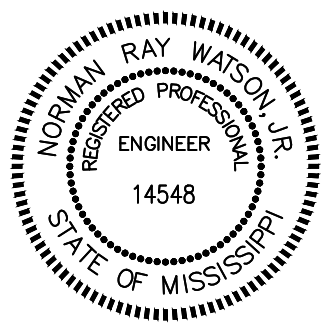
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PLAN INFORMATION

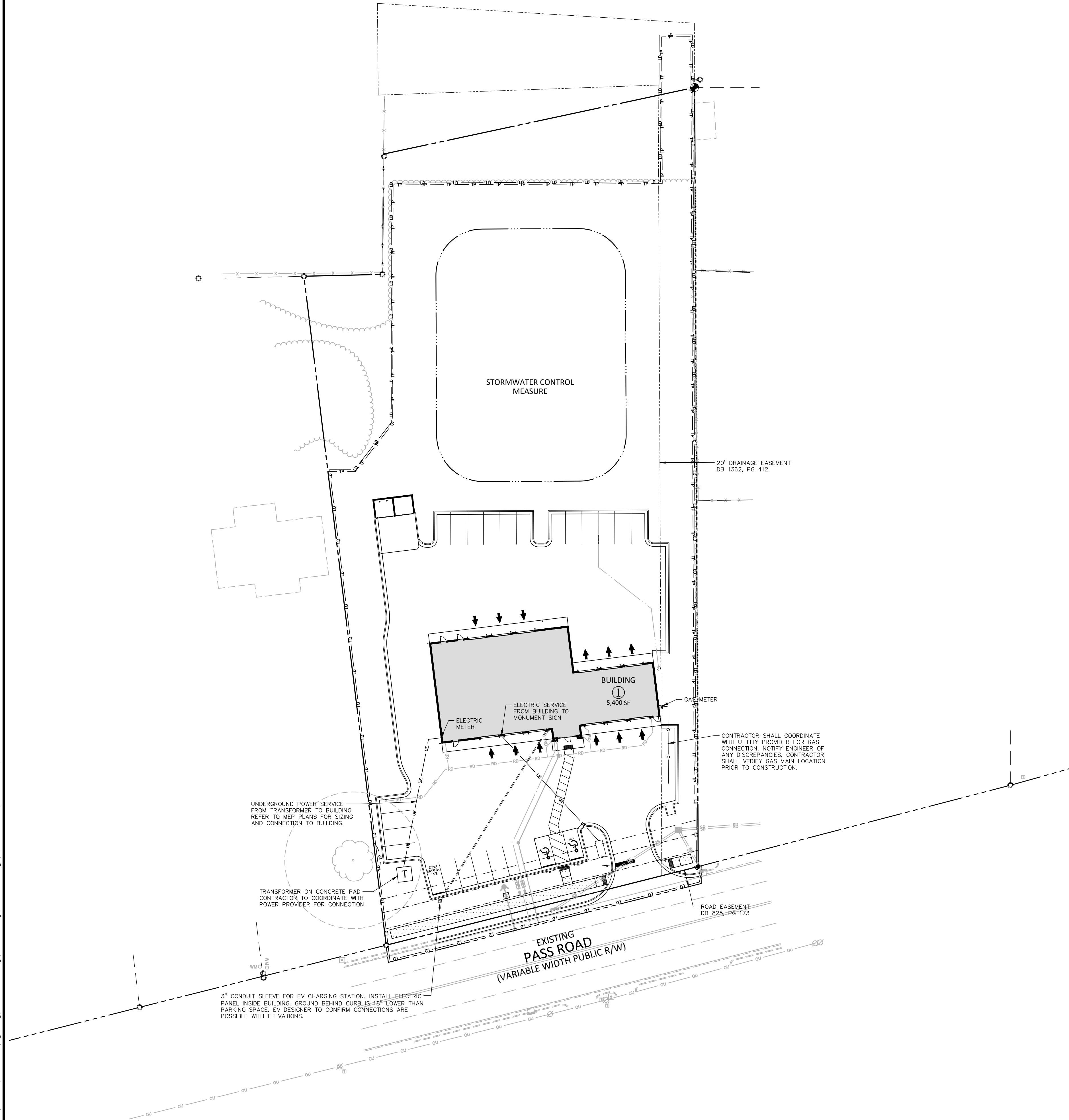
PROJECT NO. EXO24005
FILENAME EXO24005-U1
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

WATER AND SEWER
PLAN

C4.00

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UTILITY LEGEND

	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	UTILITY SLEEVE
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE
	TEMPORARY CONSTRUCTION EASEMENT
	FIBER OPTIC
	FENCE

UTILITY NOTES:

- ALL UNDERGROUND UTILITIES INSTALLED SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE LOCAL AND STATE MUNICIPALITIES PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- VERIFY ELECTRICAL REQUIREMENTS OF ABOVE GROUND HEATED ENCLOSURES, SITE LIGHTS, SIGNS THAT REQUIRE ELECTRICAL SERVICE WITH ELECTRICAL PLANS AND NOTIFY PROJECT ELECTRICAL ENGINEER OF MISSING INFORMATION.
- CONTRACTOR TO CONFIRM LOCATION OF PROPOSED ELECTRICAL SERVICE, TRANSFORMER LOCATION, PAD CONSTRUCTION REQUIREMENTS AND CLEARANCES. LEAD TIMES WITH POWER COMPANY PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONFIRM WITH OWNER AND CONSTRUCTION REQUIREMENTS OF GAS, TELEPHONE, COMMUNICATIONS WITH OWNER AND UTILITY PROVIDER NOT SHOWN ON PLANS PRIOR TO ANY CONSTRUCTION.
- VERIFY ELECTRICAL REQUIREMENTS OF ABOVE GROUND HEATED ENCLOSURES, SITE LIGHTS, SIGNS THAT REQUIRE ELECTRICAL SERVICE WITH ELECTRICAL PLANS AND NOTIFY PROJECT ELECTRICAL ENGINEER OF MISSING INFORMATION.
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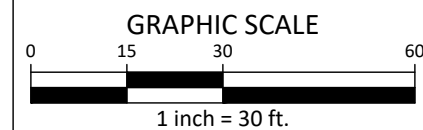
UTILITY CONTACTS:

GAS: CENTERPOINT ENERGY
228-701-0660

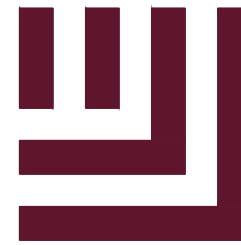
ELECTRIC: MISSISSIPPI POWER COMPANY
877-656-1836



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McADAMS

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4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972. 436. 9712

fax 972. 436. 9715

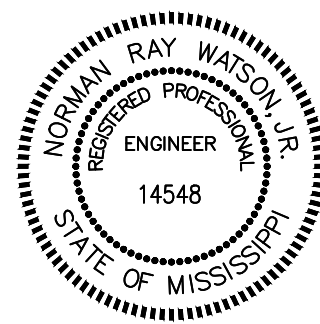
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PLAN INFORMATION

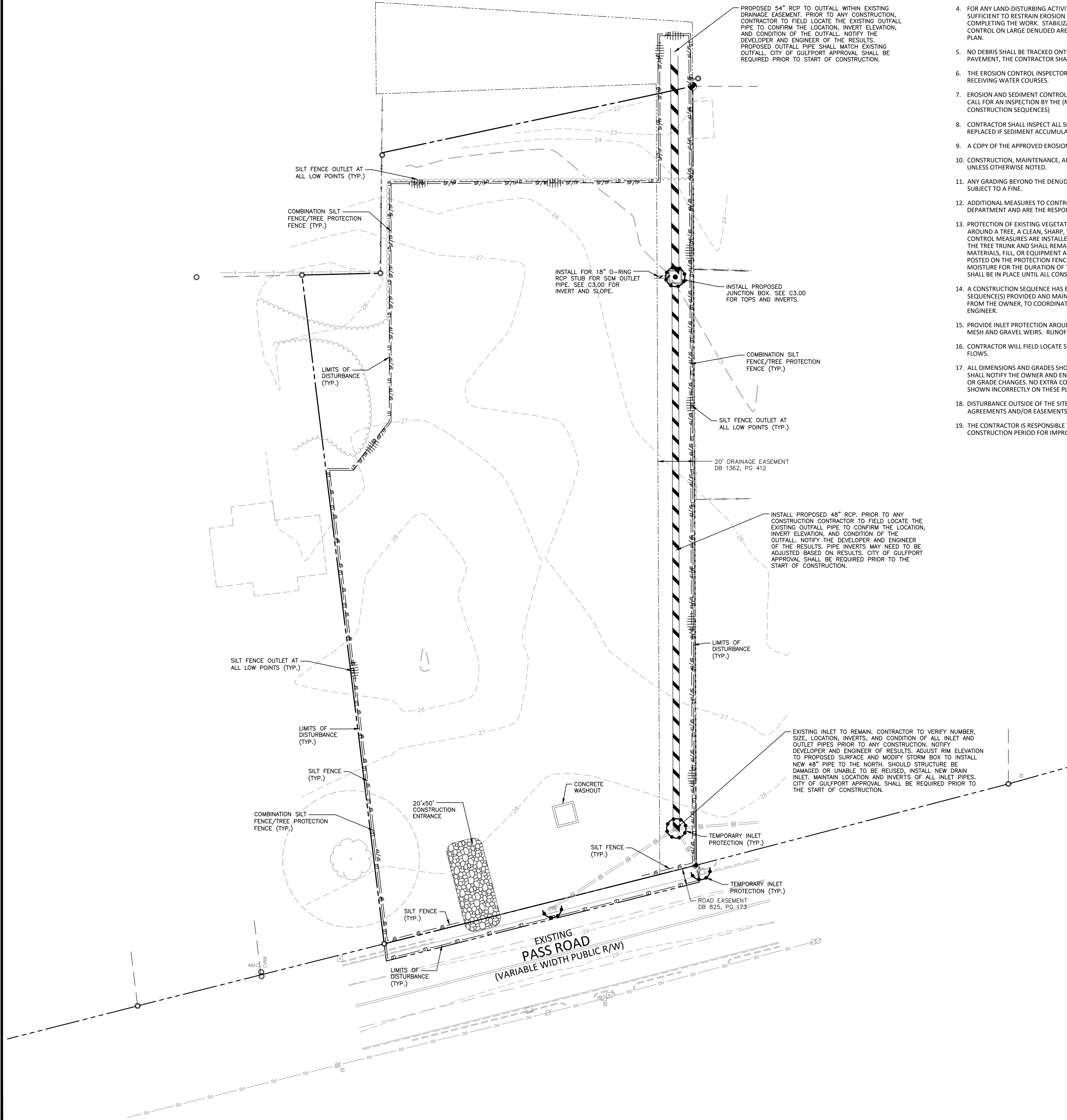
PROJECT NO. EXO24005
FILENAME EXO24005-112
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

FRANCHISE UTILITY
PLAN

C4.01

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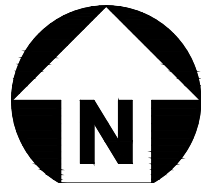
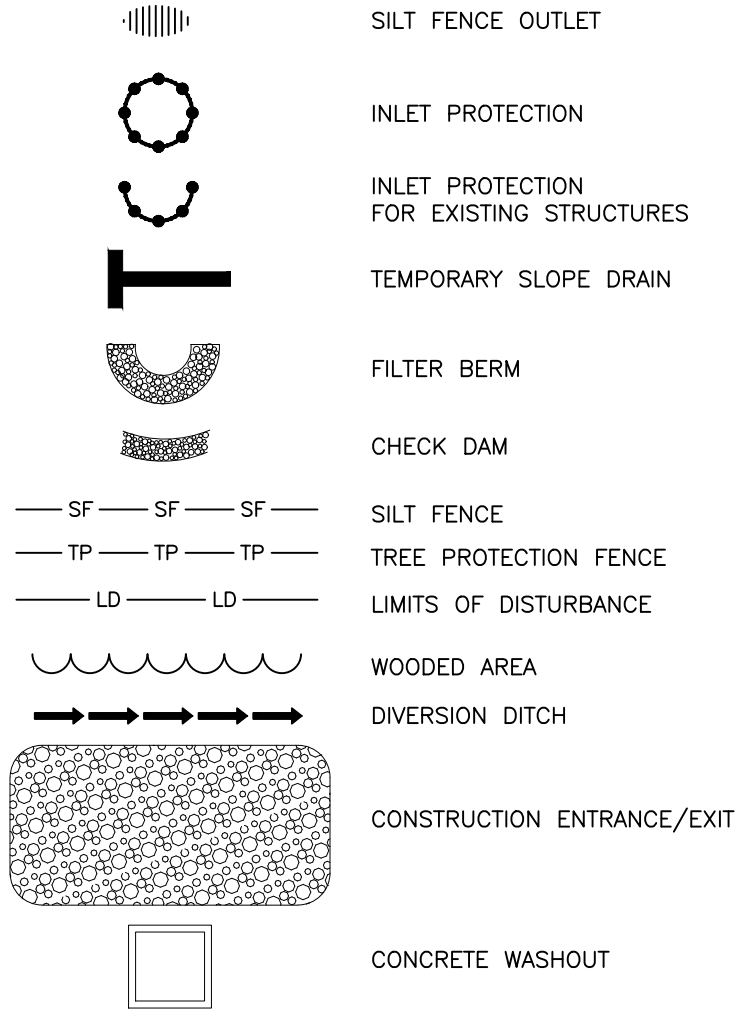
EROSION CONTROL NOTES

1. GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS AND SPECIFICATIONS.
2. FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY EITHER THE GULFPORT EROSION CONTROL DEPARTMENT OR THE DEQ.
3. CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (STEEPER THAN 3H:1V OR GREATER THAN 50 FT IN LENGTH) WITHIN 7 DAYS, 14 DAYS FOR MODERATE SLOPES (3H:1V OR FLATTER) .
4. FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
5. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
6. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
7. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY THE (MUNICIPAL) SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
8. CONTRACTOR SHALL INSPECT ALL SEDIMENT / EROSION CONTROL DEVICES AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
9. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
10. CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
11. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
12. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
13. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
14. A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
15. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
16. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS.
17. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
18. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
19. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.

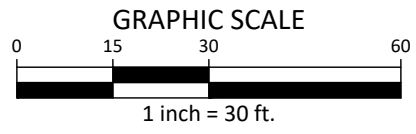
STAGE 1 SPECIFIC SEQUENCE

1. FILE SMALL CONSTRUCTION SITE NOTICE OF INTENT (NOI) AND OBTAIN NOTICE OF COVERAGE.
2. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS TO BE KEPT ON SITE AND RECORD KEEPING UPDATED AS NOTED IN SWPPP.
3. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF GULFPORT AND OBTAIN A LAND DISTURBANCE PERMIT.
4. INSTALL TREE PROTECTION FENCING ACCORDING TO THE APPROVED EROSION CONTROL PLAN. CALL THE CITY OF GULFPORT EROSION CONTROL FOR INSPECTION.
5. INSTALL TEMPORARY CONSTRUCTION ENTRANCE, CONCRETE WASHOUT, SILT FENCING, SILT FENCE OUTLETS, AND TEMPORARY INLET PROTECTION ON EXISTING INLETS AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN (C6.00). GRADE ONLY AS NECESSARY TO INSTALL THESE DEVICES. INSTALL SILT FENCE OUTLETS AT LOW POINTS IN THE SILT FENCING AS NEEDED TO PREVENT BLOWOUTS.
6. CONTRACTOR TO FIELD LOCATE THE EXISTING OUTFALL PIPE TO CONFIRM THE LOCATION, INVERT ELEVATION, AND CONDITION OF THE OUTFALL. CONTRACTOR ALSO SHALL VERIFY THE NUMBER, SIZE, LOCATION, INVERTS, CONDITION OF ALL INLET AND OUTLET PIPES, AND SUITABILITY TO REUSE THE EXISTING INLET LOCATED WITHIN THE STORM EASEMENT. NOTIFY THE DEVELOPER AND ENGINEER OF THE RESULTS. ONCE THE CONSTRUCTION PLANS AND ENGINEERING CALCULATIONS ARE UPDATED BASED ON THE RESULTS AND THE CITY OF GULFPORT APPROVES, CREATE AN OPEN TRENCH FOR BYPASS STORM SYSTEM. INSTALL PROPOSED 48" RCP, JUNCTION BOX WITH 18" RCP STUB TO SCM OUTLET STRUCTURE, AND PROPOSED 54" RCP WITHIN CENTER OF STORM EASEMENT AS SHOWN ON APPROVED CONSTRUCTION PLANS. CLEAR AND GRUB TREE AREA ONLY AS NECESSARY TO INSTALL BYPASS STORM PIPE SYSTEM. GRADE ONLY AS NECESSARY TO INSTALL THESE DEVICES. MAINTAIN EXISTING DRAINAGE PATTERNS THROUGHOUT INSTALLATION OF THE BYPASS STORM SYSTEM.
7. ADJUST RIM OF EXISTING DRAIN INLET TO PROPOSED SURFACE ELEVATION. SHOULD THE EXISTING INLET BE DAMAGED OR DETERMINED UNABLE TO BE REUSED, INSTALL NEW DRAIN INLET. MAINTAIN LOCATION AND INVERTS OF ALL INLET PIPES. MAINTAIN EXISTING DRAINAGE PATTERNS THROUGHOUT THE ADJUSTMENT OR INSTALLATION OF THIS STORM STRUCTURE.
8. INSTALL TEMPORARY INLET PROTECTION ON ALL NEW STORM STRUCTURES AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN.
9. STABILIZE ALL DISTURBED AREAS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION.
10. ONCE BYPASS STORM DEVICES ARE IN PLACE, TEMPORARY CONSTRUCTION ENTRANCE SHALL BE MOVED TO PROPOSED LOCATION AS SHOWN ON STAGE 2 EROSION CONTROL PLAN (C6.01). GRADE ONLY AS NECESSARY TO INSTALL THIS DEVICE.
11. MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
12. PROCEED TO STAGE 2.

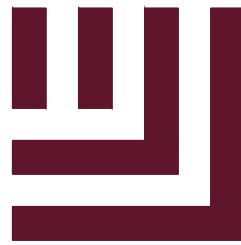
EROSION CONTROL LEGEND



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FINAL DRAWING - ISSUED FOR CONSTRUCTION



McADAMS

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4400 State Highway 121, Suite 800
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phone 972. 436. 9712

fax 972. 436. 9715

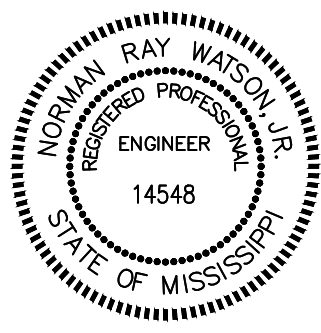
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PHONE: 205-943-5770

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PLAN INFORMATION

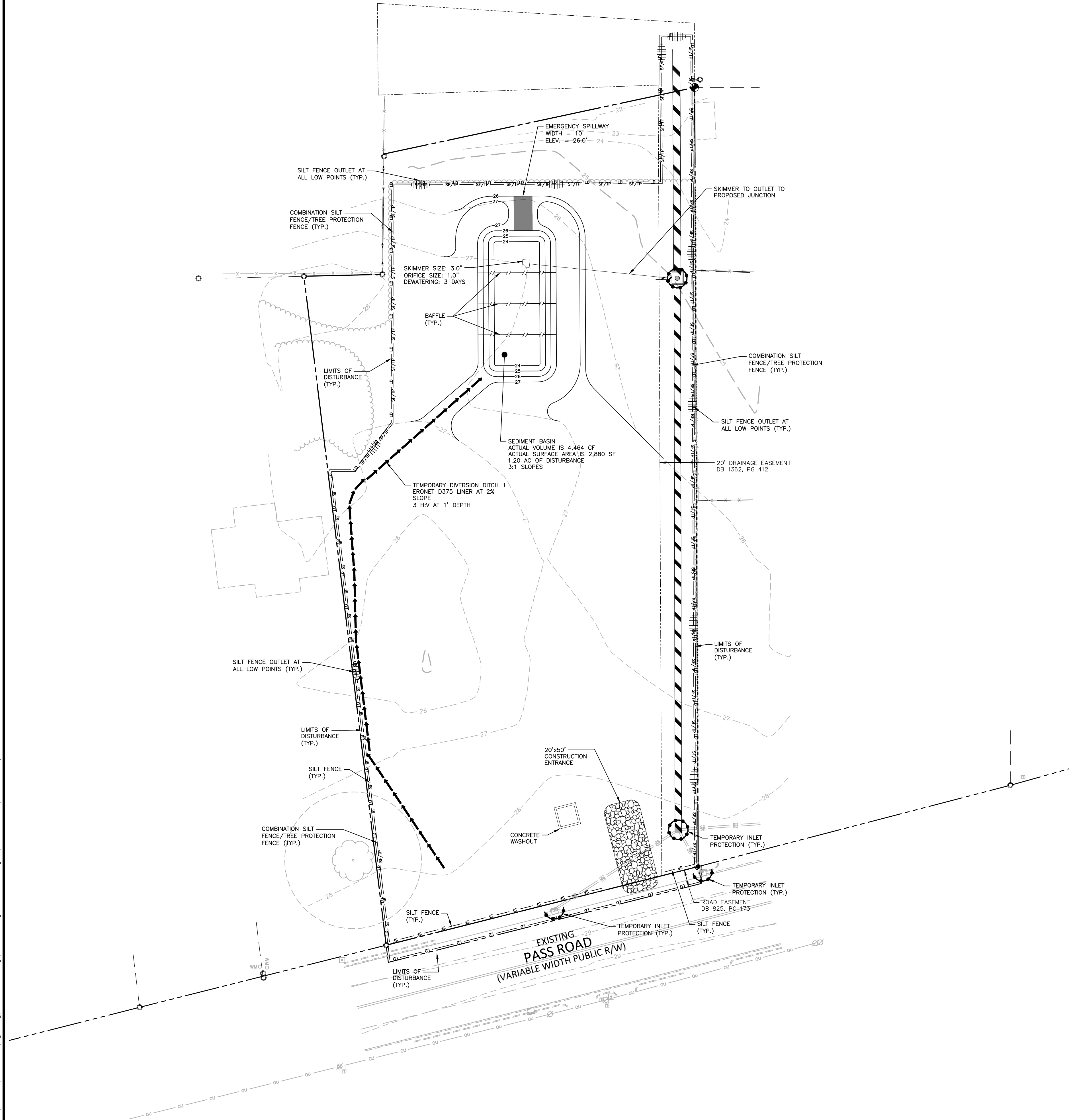
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SHEET

EROSION CONTROL
PLAN - STAGE 1

C6.00

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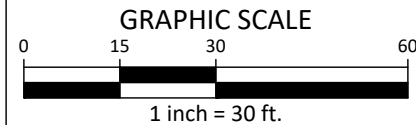
EROSION CONTROL LEGEND	
	SILT FENCE OUTLET
	INLET PROTECTION
	INLET PROTECTION FOR EXISTING STRUCTURES
	TEMPORARY SLOPE DRAIN
	FILTER BERM
	CHECK DAM
	SILT FENCE
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	DIVERSION DITCH
	CONSTRUCTION ENTRANCE/EXIT
	CONCRETE WASHOUT

STAGE 2 SPECIFIC SEQUENCE

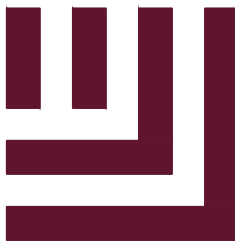
- SEE SHEET C6.00 FOR "EROSION CONTROL NOTES" AND "STAGE 1 SPECIFIC SEQUENCE" NOTES.
- INSTALL SEDIMENT BASIN WITH SKIMMER AND SPILLWAY AS SHOWN ON APPROVED STAGE 2 EROSION CONTROL PLAN (C6.01). SKIMMER TO OUTLET TO PROPOSED JUNCTION BOX INSTALLED IN STAGE 1. INSTALL DIVERSION DITCH TO SEDIMENT BASIN. GRADE ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- IF A STOCKPILE IS NECESSARY DUE TO EXCAVATION OF THE SEDIMENT BASIN, PLACE A DOUBLE ROW OF SILT FENCE 10 FEET APART. TREES AND GROUND COVER MAY BE REMOVED ONLY AS NECESSARY FOR THIS STOCKPILE. IF MATERIAL IS GOING TO BE HAULED OFF-SITE, A SEPARATE EROSION CONTROL PERMIT MUST BE OBTAINED FOR THE DESTINATION OF THE MATERIAL.
- NOTIFY THE CITY OF GULFPORT S&E SITE INSPECTOR AFTER STAGE 2 MEASURES HAVE BEEN INSTALLED.
- STABILIZE ALL DISTURBED AREAS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION.
- BEGIN CLEARING AND GRADING REMAINDER OF THE SITE. MAINTAIN EROSION CONTROL DEVICES AS NEEDED.
- STABILIZE GRADED AREAS AS THEY ARE CLEARED. TEMPORARILY SEED AND MULCH DENUDED AREAS.
- MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
- PROCEED TO STAGE 3.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION



McAdams

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

phone 972. 436. 9712

fax 972. 436. 9715

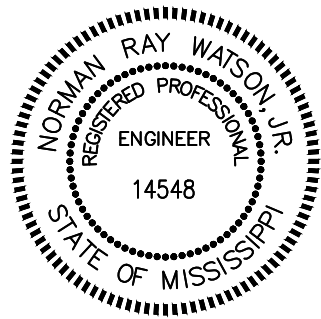
MS license number: 33729

www.mcadamsco.com

CLIENT

EXPRESS OIL CHANGE AND BRAKES PLUS
1880 SOUTHPARK DRIVE
BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
BY PLANNING DEPARTMENT)
GULFPORT, MISSISSIPPI 39507



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

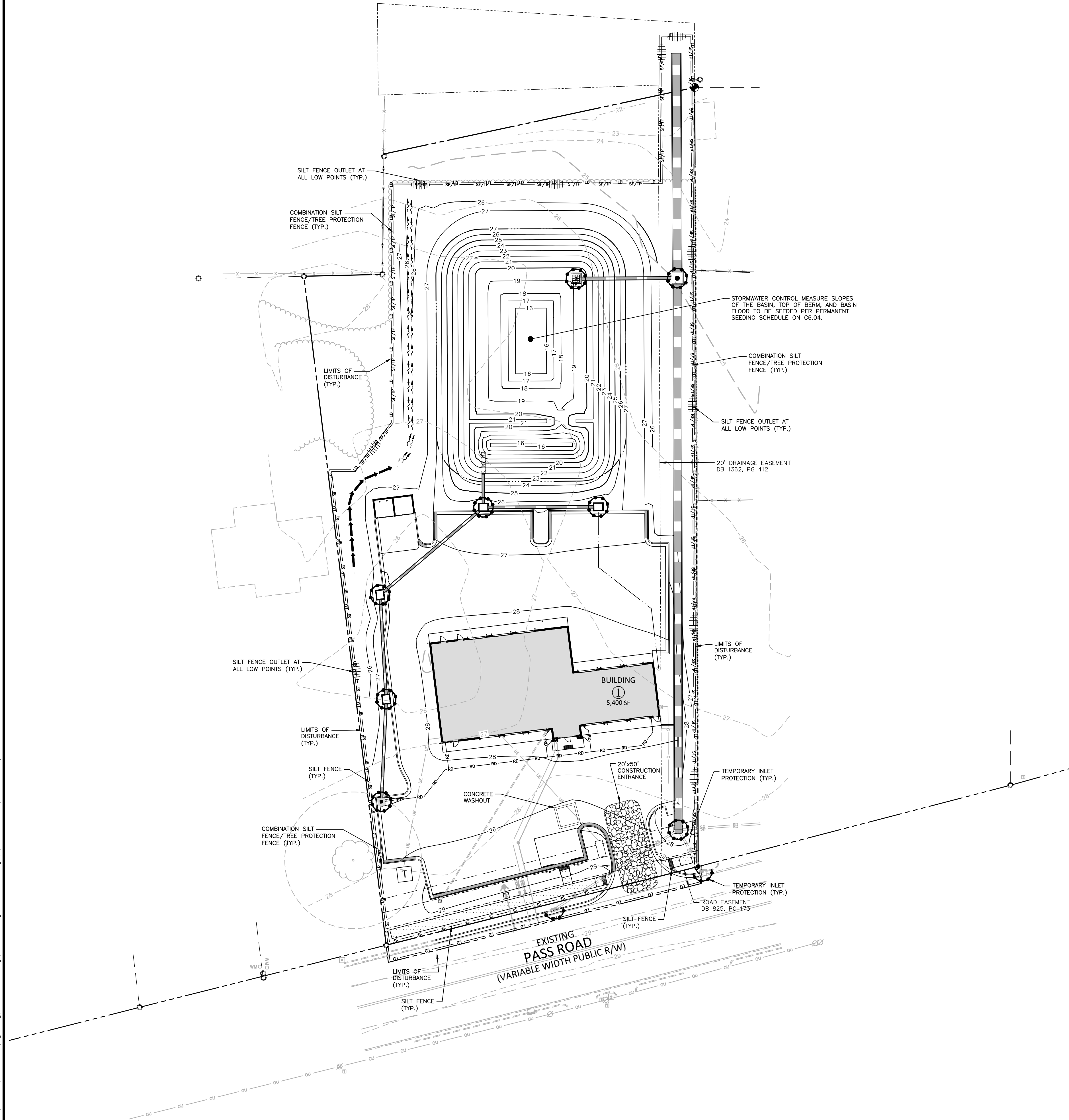
PROJECT NO. EX024005
FILENAME EX024005-EC2
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

EROSION CONTROL
PLAN - STAGE 2

C6.01

Z:\Drive Projects\EX01\EX024005\04-Production\Engineering\Construction Drawings\EX024005-EC3.dwg, 3/5/2025 12:40:33 PM, Matthew DeBruyne



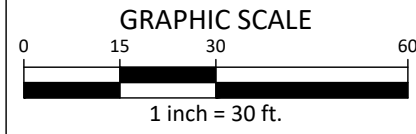
EROSION CONTROL LEGEND	
	SILT FENCE OUTLET
	INLET PROTECTION
	INLET PROTECTION FOR EXISTING STRUCTURES
	TEMPORARY SLOPE DRAIN
	FILTER BERM
	CHECK DAM
	SILT FENCE
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	DIVERSION DITCH
	CONSTRUCTION ENTRANCE/EXIT
	CONCRETE WASHOUT

STAGE 3 SPECIFIC SEQUENCE

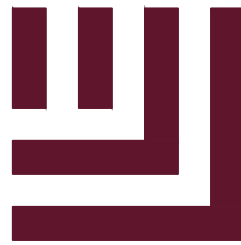
1. SEE SHEET C6.00 FOR "EROSION CONTROL NOTES" AND "STAGE 1 SPECIFIC SEQUENCE" NOTES. SEE SHEET C6.01 FOR "STAGE 2 SPECIFIC SEQUENCE" NOTES.
2. RE-GRADE SEDIMENT BASIN INTO APPROVED STORMWATER POND FOOTPRINT WITH THE EXCEPTION OF THE INTERIOR FINE GRADING AND INSTALL PROPOSED RISER. FOR RELOCATE SKIMMER OUTFALL TO NEW RISER. STORMWATER POND TO SERVE AS A SEDIMENT BASIN DURING STAGE 3. SEE SHEET C9.01, GENERAL NOTES #8 FOR SCM CONSTRUCTION SEQUENCING.
3. INSTALL THE REMAINDER OF THE STORM COLLECTION SYSTEM WITH INLET PROTECTION, BUILDING PAD, SEWER SERVICES, AND DOMESTIC WATER SERVICES. FINE GRADE PARKING AREA TO FINAL GRADE, IMMEDIATELY STABILIZE WITH STONE BASE.
4. TEMPORARY EROSION CONTROL MEASURES ARE TO REMAIN UNTIL SUCH MEASURES HAVE BEEN APPROVED FOR REMOVAL BY THE CITY OF GULFPORT E&SC INSPECTOR. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND FIELD CONDITIONS.
5. STABILIZE GRADED AREAS AS THEY ARE CLEARED. TEMPORARILY SEED AND MULCH DENUDED AREAS. ONCE FINAL GRADE HAS BEEN ACHIEVED, PAVE OR PERMANENTLY SEED ALL AREAS AND SLOPES PER MDEQ'S EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS.
6. ONCE SITE IS STABILIZED, FINE GRADE INTERIOR OF APPROVED STORMWATER POND. SEE SHEET C9.01, GENERAL NOTES #8 FOR CONSTRUCTION SEQUENCING.
7. ALL DISTURBED AREAS IN RIGHT-OF-WAY TO BE SODDED.
8. STORMWATER CONTROL MEASURES TO BE PLANTED PER APPROVED SCM PLANTING PLAN, SEE SHEET C9.04.
9. SEE LANDSCAPE PLAN FOR SEEDING AND PLANTINGS ON REMAINING DISTURBED AREA.
10. MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
11. UPON APPROVAL OF PERMANENT STABILIZATION BY EROSION CONTROL INSPECTOR, REMOVE REMAINDER OF EROSION CONTROL MEASURES, GRADE AND STABILIZE WITH PERMANENT SEEDING/SOD.
12. FILE NOTICE OF TERMINATION WITH MISSISSIPPI DEQ.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
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Lewisville, Texas 75056

phone 972. 436. 9712

fax 972. 436. 9715

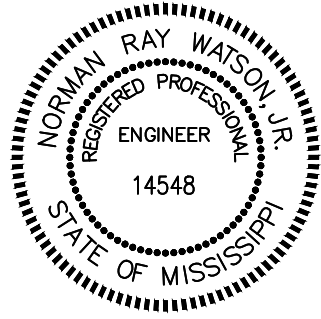
MS license number: 33729

www.mcadamsco.com

CLIENT

EXPRESS OIL CHANGE AND BRAKES PLUS
1880 SOUTHPARK DRIVE
BIRMINGHAM, ALABAMA 35244
PHONE: 205-943-5770

EXPRESS OIL - GULFPORT
CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
BY PLANNING DEPARTMENT)
GULFPORT, MISSISSIPPI 39507



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	EX024005
FILENAME	EX024005-EC3
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	1" = 30'
DATE	03. 05. 2025

SHEET

EROSION CONTROL
PLAN - STAGE 3

C6.02



McAdams

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

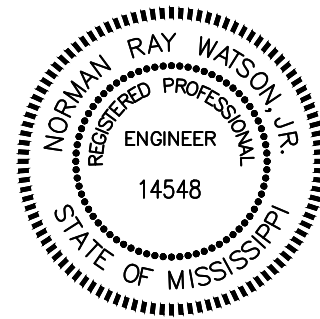
phone 972. 436. 9712
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EXPRESS OIL - GULFPORT
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REVISIONS

NO.	DATE	DESCRIPTION
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3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

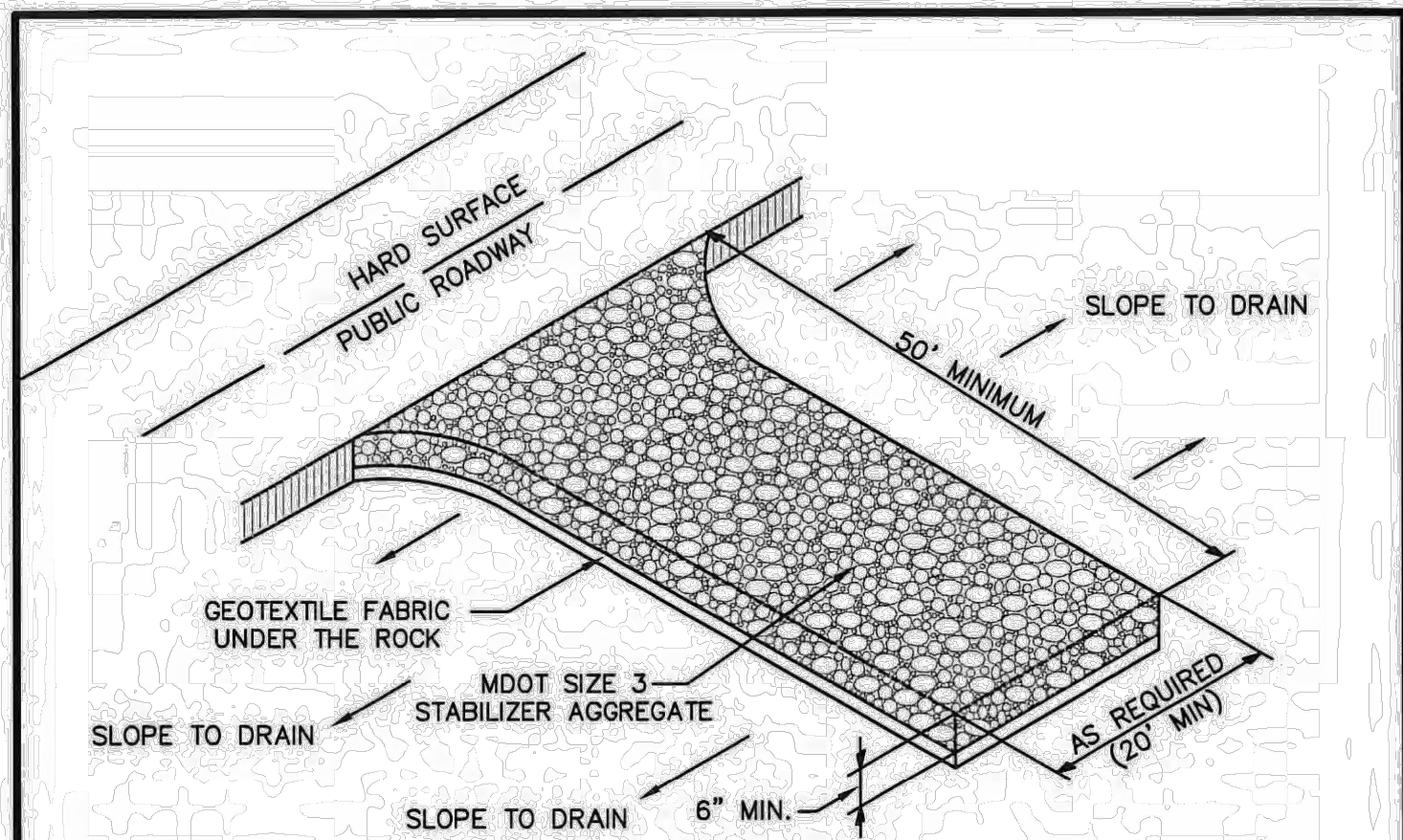
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FILENAME EXO24005-EC4
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE NTS
DATE 03.05.2025

SHEET

EROSION CONTROL
PLAN DETAILS

C6.03

FINAL DRAWING - ISSUED FOR CONSTRUCTION



NOTES:

1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE EXCAVATED 6 INCHES DEEP, 50 FEET LONG AND SHALL EXTEND THE FULL WIDTH OF ANY VEHICULAR INGRESS AND EGRESS (MINIMUM 20 FEET) LOCATED ON THE SITE.
2. THE ENTRANCE SHALL BE PROPERLY MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MAINTENANCE AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE ENTRANCE SHALL BE CHECKED ON A DAILY BASIS AND BEFORE & AFTER ANY RAINFALL EVENT FOR ANY DAMAGES. ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAYS END AT NO ADDITIONAL COST TO THE CITY.
4. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT THE FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
5. MEASURES SHALL BE TAKEN TO PREVENT VEHICULAR TRAFFIC FROM BYPASSING THE CONSTRUCTION ENTRANCE DURING INGRESS AND EGRESS.

LIMESTONE CONSTRUCTION ENTRY DETAIL

DATE: 5/20/15
SCALE: N.T.S.
DR. BY:

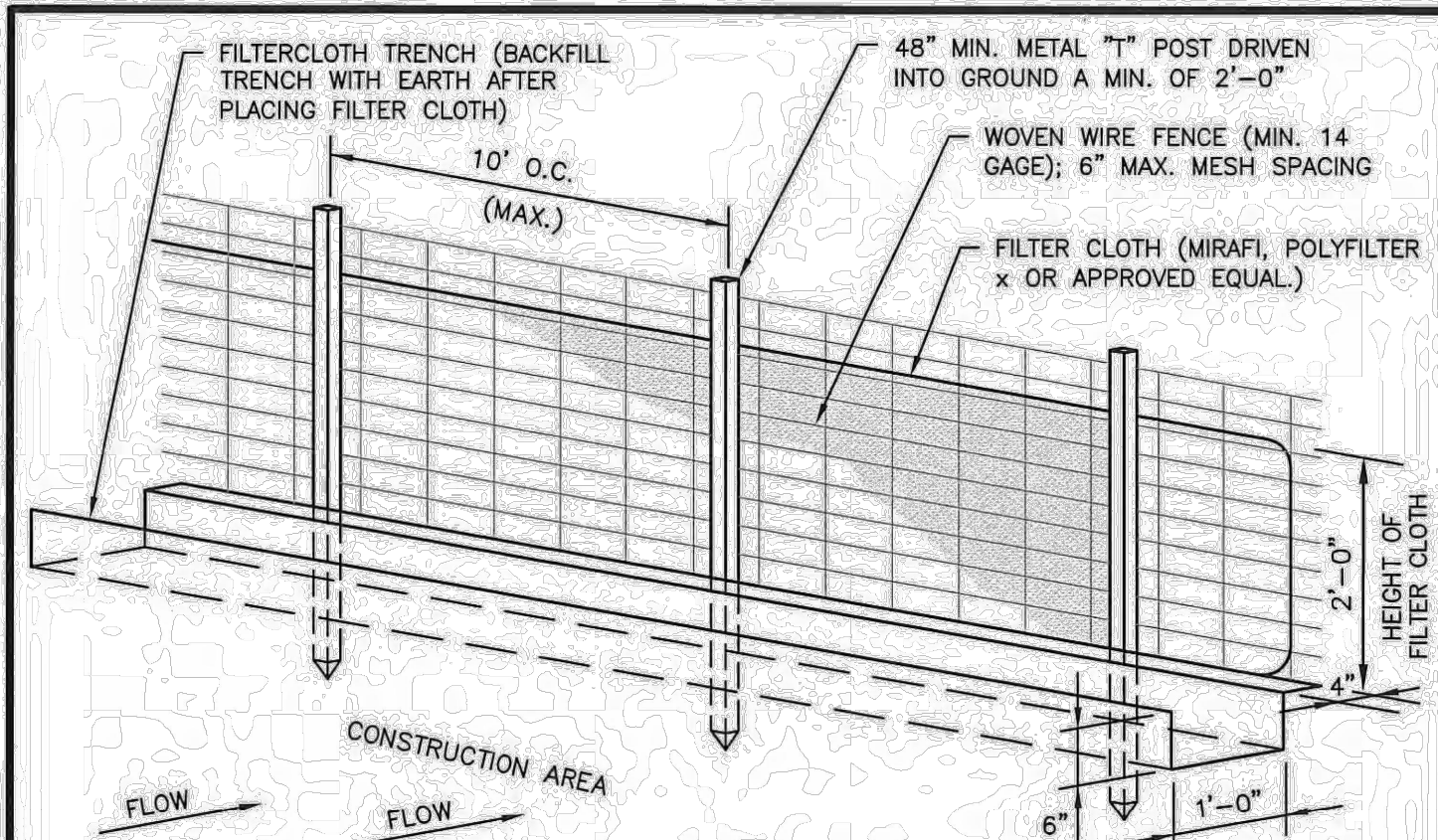
APPR. BY: DBA
DR. NO.: 02295
FILE: CONSTRUCT ENTRY

REVISION



ENGINEERING & PUBLIC WORKS DEPARTMENT
4050 HERVEY AVENUE, GULFPORT, MS 39507
TEL 228-868-2815 FAX 228-868-2822

CITY OF GULFPORT
STANDARD CONSTRUCTION DETAILS



CONSTRUCTION SPECIFICATIONS

1. USE STEEL "T" POSTS THAT ARE 5 FEET IN LENGTH.
2. INSTALL POSTS STARTING AT THE CENTER OF THE LOWEST POINT OF THE FENCE LINE. DRIVE POSTS 12 INCHES INTO THE GROUND.
3. INSTALL POSTS ON 10-FOOT CENTERS IF METAL MESH FENCING IS TO BE USED AS ADDITIONAL SUPPORT. IF NO METAL FENCING SUPPORT IS USED, THEN INSTALL POSTS ON 6-FOOT CENTER OR LESS.
4. EXCAVATE A TRENCH 4 INCHES DEEP BY 4 INCHES WIDE ON THE UPHILL SIDE OF THE FENCE POSTS.
5. STAPLE OR TIE THE SILT FENCE FABRIC TO POSTS ON UPHILL SIDE, LEAVING 8 INCHES ON THE BOTTOM TO EXTEND DOWN AND ACROSS THE BOTTOM OF THE TRENCH.
6. BACKFILL TRENCH AND TAMP DOWN OVER FABRIC.
7. ALLOW 6-INCH OVERLAP AT JOINTS.
8. MULCH BARE GROUND UPHILL OF SILT FENCE OR PROVIDE OTHER EROSION CONTROL MEASURES.

MAINTENANCE:

1. REMOVE ACCUMULATED SEDIMENT ALONG THE FENCE WHEN IT HAS REACHED A THIRD TO A HALF OF THE FENCE HEIGHT. DO NOT PLACE SEDIMENT ON THE DOWNHILL SIDE.
2. INSPECT WEEKLY AND AFTER EACH SIGNIFICANT STORM EVENT (GREATER THAN 1/2 INCH OF RAIN).
3. REMOVE FENCE WHEN AREA ABOVE THE FENCE HAS BEEN STABILIZED.
4. IF FABRIC IS TORN, THEN REPLACE WITH A NEW PIECE THAT STRETCHES TO POST ON EITHER SIDE OF THE TEAR.

SILT FENCE DETAIL

DATE: 5/20/15
SCALE: N.T.S.
DR. BY:

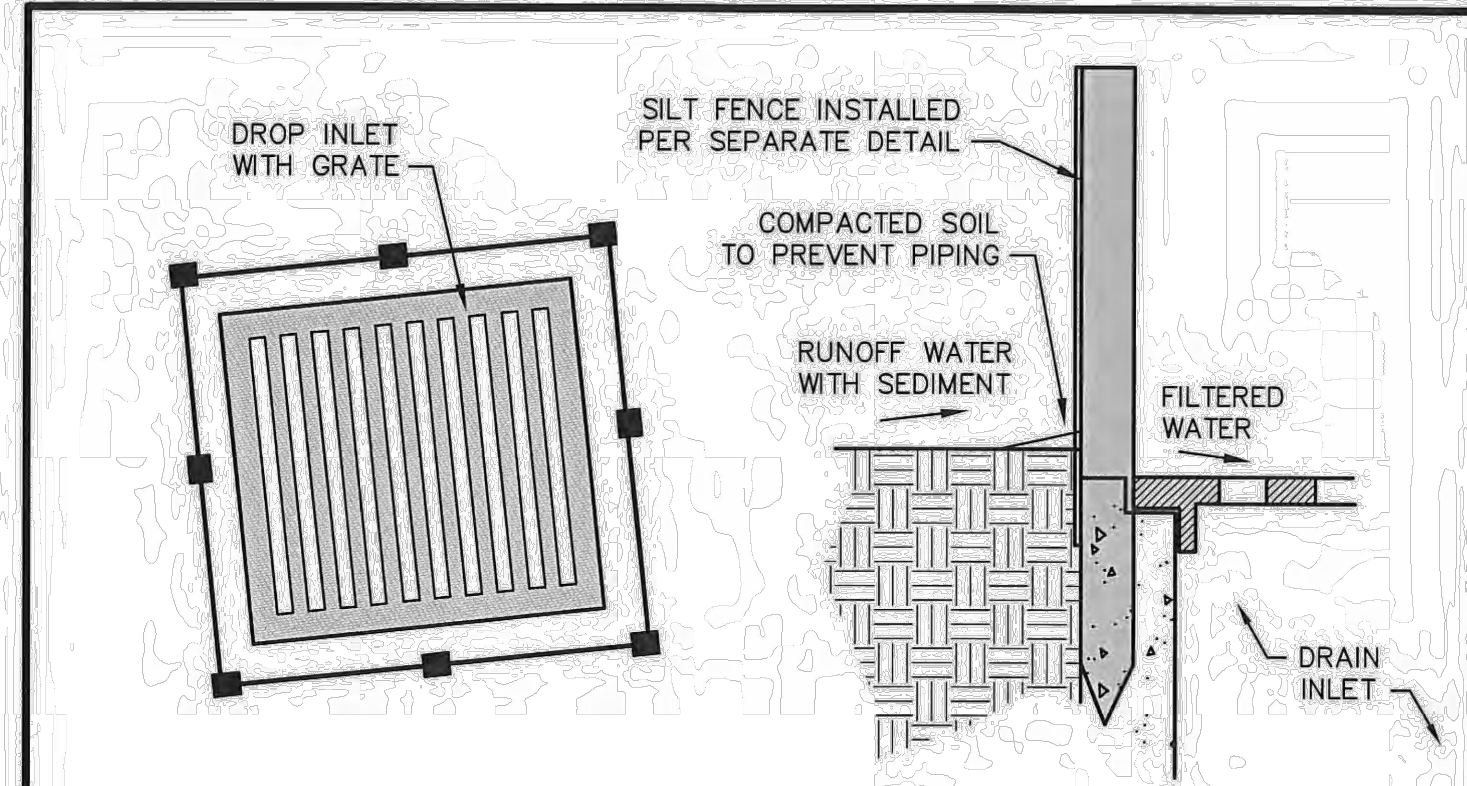
APPR. BY: BCM
DR. NO.: 02295 DWG.-1
FILE: SILTFNC

REVISION

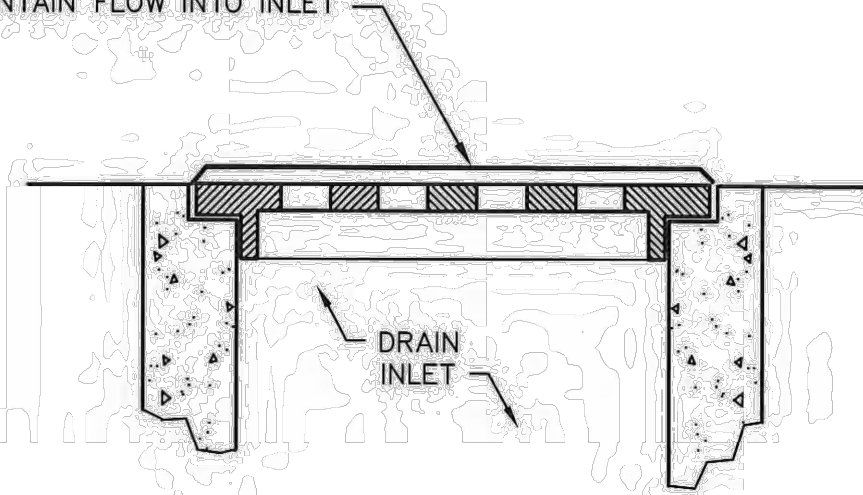


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TEL 228-868-2815 FAX 228-868-2822

CITY OF GULFPORT
STANDARD CONSTRUCTION DETAILS



WRAP GRATE WITH SILT FENCE MATERIAL.
REMOVE SEDIMENT OR REPLACE FABRIC AS
NEEDED TO MAINTAIN FLOW INTO INLET



STORM DRAIN INLET PROTECTION DETAIL

DATE: 5/20/15
SCALE: N.T.S.
DR. BY:

APPR. BY: BCM
DR. NO.: 02295
FILE: INLET PROTECTION

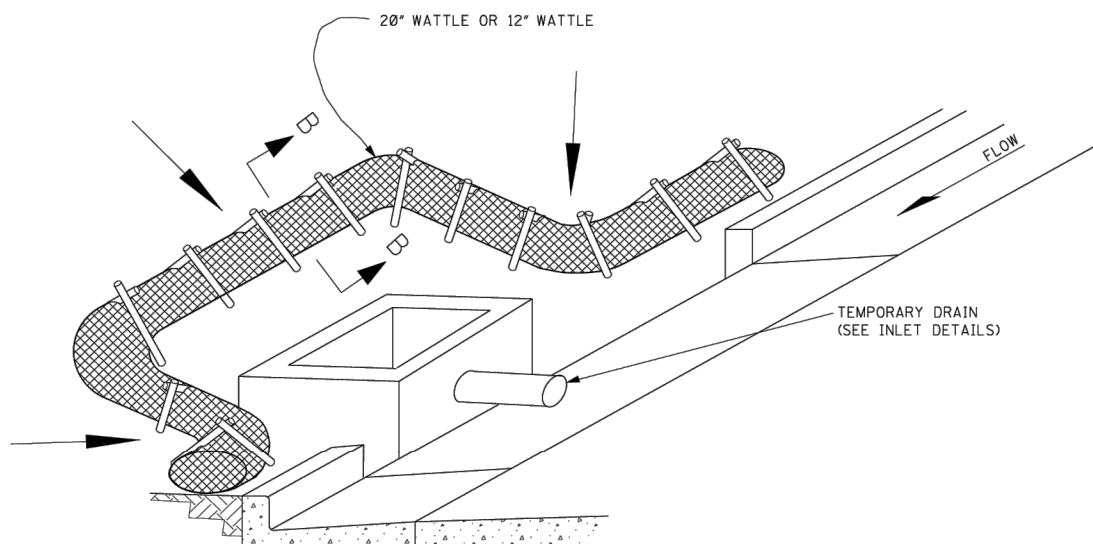
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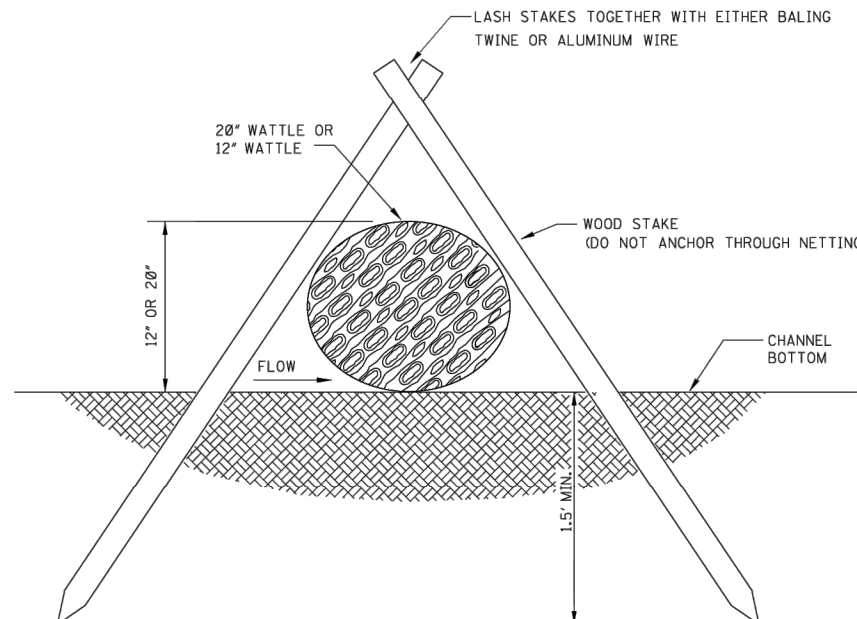
ENGINEERING & PUBLIC WORKS DEPARTMENT
4050 HERVEY AVENUE, GULFPORT, MS 39507
TEL 228-868-2815 FAX 228-868-2822

CITY OF GULFPORT
STANDARD CONSTRUCTION DETAILS

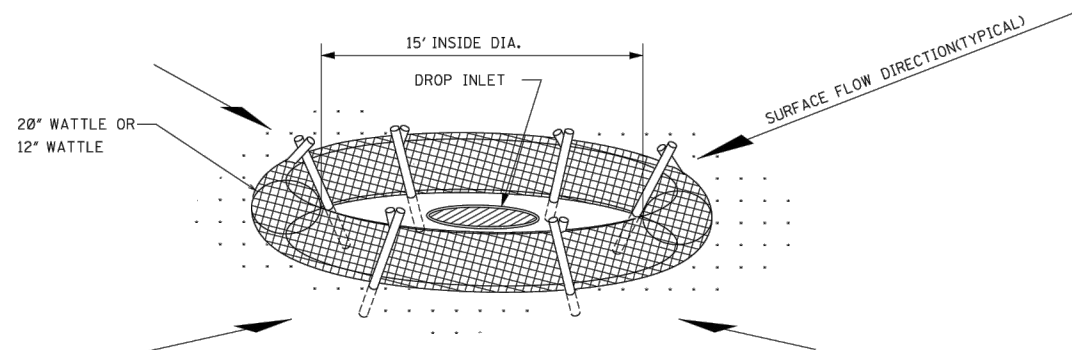
NOTE: SILT FENCE OR SANDBAGS MAY ALSO BE USED FOR THIS APPLICATION.
HAY BALES NOT ACCEPTABLE DURING THIS STAGE.



CURB INLET PROTECTION (STAGE 2)
SINGLE OR DOUBLE WING INLET



SECTION B-B

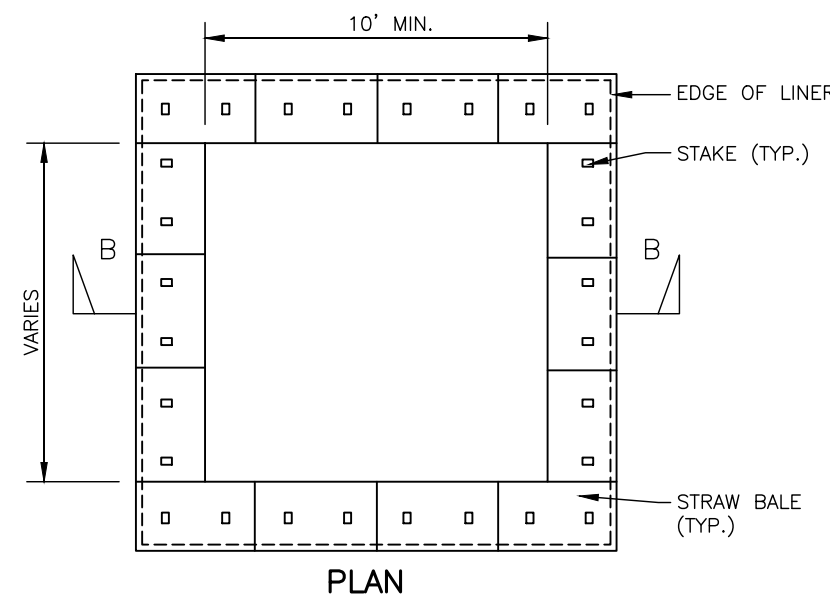


DROP INLET PROTECTION

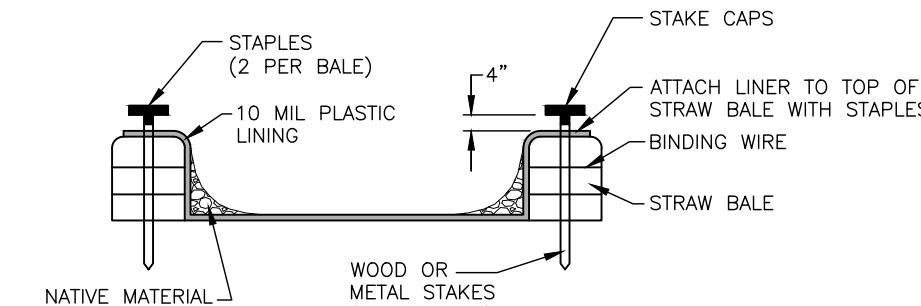
NOTES:

1. ANCHORING STAKES SHALL BE SIZED, SPACED, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE WATTLE. STAKE SPACING SHALL BE A MAXIMUM OF THREE FEET.
2. OVERLAP ENDS OF WATTLES PER MANUFACTURER'S RECOMMENDATIONS (1\"/>

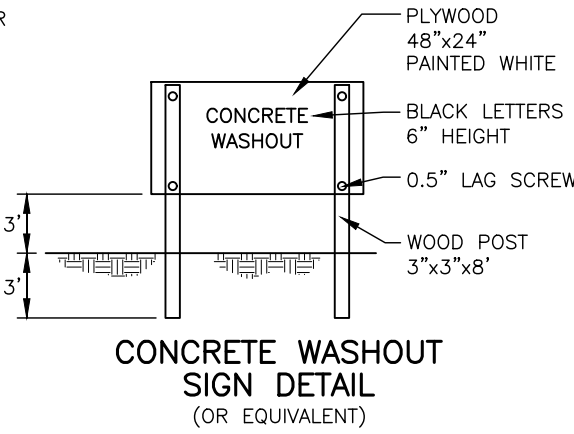
STATE PROJECT NO.
MISS.



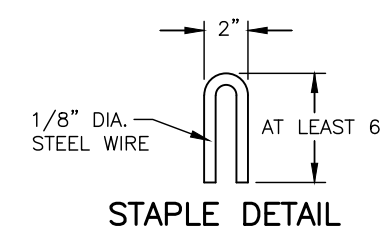
PLAN



SECTION B-B



CONCRETE WASHOUT
SIGN DETAIL
(OR EQUIVALENT)



STAPLE DETAIL

CONCRETE WASHOUT PIT
N.T.S.

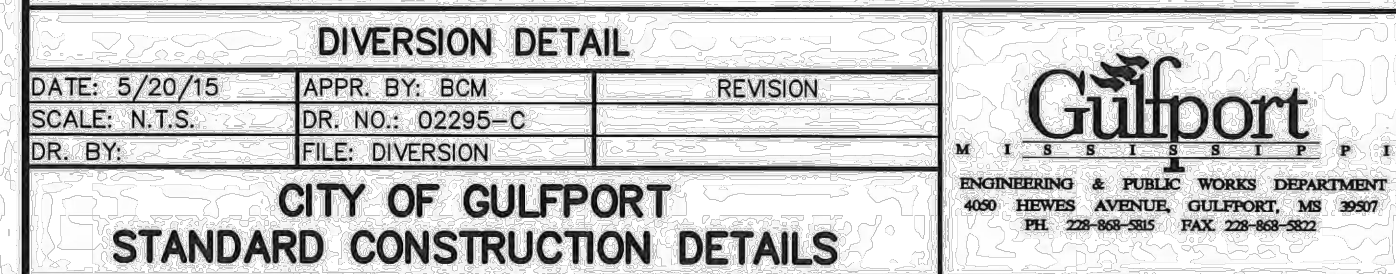


phone 972. 436. 9712
fax 972. 436. 9715
MS license number: 337

CLIENT

- ① ALL AREAS THAT HAVE BEEN VEGETATED, UNDER THIS CONTRACT FOR AT LEAST (60) SIXTY DAYS SHALL RECEIVE ADDITIONAL APPLICATION(S) OF FERTILIZER(S) OF THE TYPE(S) AND RATE(S) OF APPLICATIONS AS DETERMINED BY SOIL TESTS OR AS DIRECTED DURING THE GROWING SEASONS. THE CONTRACT IS IN FORCE. Ground preparation will NOT be needed for the ADDITIONAL APPLICATION(S). PAYMENT FOR ALL FERTILIZER(S) ACCEPTABLY APPLIED AS AN ADDITIONAL APPLICATION(S) WILL BE MADE IN ACCORDANCE WITH SUPERPHOSPHATE BID ITEM 213-C001.
- ② PROPOSAL QUANTITIES ESTIMATED ON THE BASIS THAT 100% OF THE ACREAGE WILL BE SEEDED.
- ③ PROPOSAL QUANTITIES ESTIMATED ON THE BASIS THAT 50% OF THE ACREAGE WILL BE SEEDED.
- ④ QUANTITY ESTIMATED ON THE BASIS 50% OF THE ACREAGE VEGETATED MAY REQUIRE TREATMENT.

G-18



FINAL DRAWING - ISSUED FOR CONSTRUCTION

EXPRESS OIL - GULFPORT
CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
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PLAN INFORMATION

SHEET

C6.04

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PAVEMENT LEGEND:

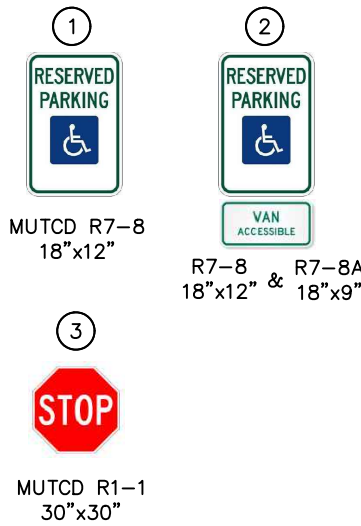
	STANDARD DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	MDOT HEAVY DUTY CONCRETE PAVEMENT
	STANDARD ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT

PAVEMENT MARKING LEGEND

LANE LINES/MARKINGS
(T2) 24" WHITE STOPBAR
(T3) 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
(TA) 4" WHITE
(TO) 8" WHITE CROSSWALK LINE
(TU) 12" WHITE DIAGONAL

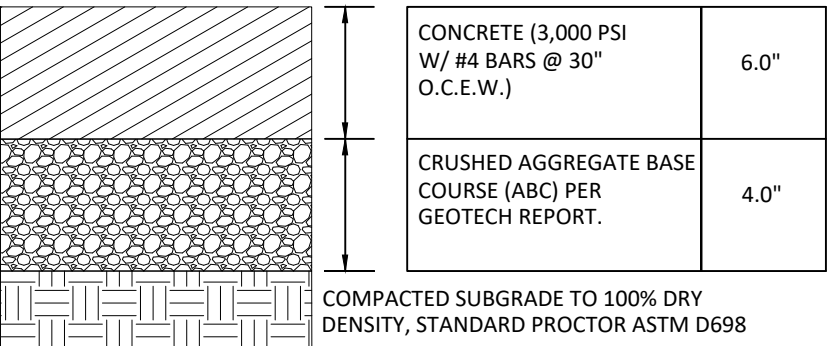
ARROWS/CHARACTERS
(UH) HANDICAP PARKING
(UC) STRAIGHT ARROW
(UL) LEFT ARROW
(UR) RIGHT ARROW
(U) ALPHANUMERIC CHARACTER

SIGN LEGEND:



SHADING ALONG CURB INDICATES WHERE CURB SHALL BE CONTINUOUSLY MARKED WITH THERMO PLASTIC RED CURB ALONG THE FIRE LANE WITH WHITE "NO PARKING-FIRE LANE" PRINTED WITH A MINIMUM 8" HIGH LETTERS AT 40' INTERVALS OR AS DIRECTED BY THE FIRE MARSHAL.

HEAVY DUTY ASPHALT PAVEMENT



MDOT PAVEMENT SECTIONS

	STANDARD DUTY	HEAVY DUTY
CONCRETE (3,500 PSI W/ #3 BARS @ 18" O.C.E.W.)	5.0"	8.0"
CRUSHED AGGREGATE BASE COURSE (ABC) PER GEOTECH REPORT.	4.0"	4.0"
COMPACTED SUBGRADE TO 100% DRY DENSITY, STANDARD PROCTOR ASTM D698	N.T.S.	N.T.S.

CONCRETE PAVEMENT SECTIONS

	STANDARD DUTY	HEAVY DUTY
SUPERPAVE SURFACE COURSE	3.0"	5.0"
CRUSHED AGGREGATE BASE COURSE (ABC) PER GEOTECH REPORT.	6.0"	6.0"
12" MIN. COMPACTED SUBGRADE TO 100% DRY DENSITY, STANDARD PROCTOR ASTM D698	N.T.S.	N.T.S.

ASPHALT PAVEMENT SECTIONS

GENERAL PAVEMENT AND MARKING NOTES:

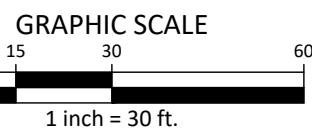
- CONTRACTOR TO VERIFY CONCRETE PAD FOR TRANSFORMER. TRANSFORMER PAD SHALL BE STANDARD LIGHT DUTY CONCRETE UNLESS OTHERWISE REQUIRED BY POWER COMPANY.
- ALL PAVEMENT WITH IN MDOT RIGHT-OF-WAY SHALL PER MDOT ASPHALT PAVEMENT SECTION DETAILS" THIS SHEET.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST GULFPORT AND MDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- CONTRACTOR SHALL NOTIFY "MS811" (811) OR 1-601-362-4374 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "MS811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL AND STATE MUNICIPALITY AND MDOT, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER IF REQUIRED. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, LOCAL AND STATE MUNICIPALITY AND MDOT.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN ARE INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENTS. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE LOCAL AND STATE MUNICIPALITY AND MDOT STANDARDS AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS. PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (ABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS. PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE MDOT STANDARD SPECIFICATIONS. PROPER SUBGRADE COMPACTION, ADHERENCE TO THE MDOT SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
- THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

PAVEMENT DISCLAIMER:

- PAVEMENT SECTIONS AND COMPACTION SHOWN ARE BASED ON THE RESULTS FROM THE GEOTECHNICAL REPORT CONDUCTED BY TERRACON ON 10/8/2024.
- ASPHALT PAVEMENT GREATER THAN 1.5" MUST BE DONE IN SEVERAL LIFTS.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION

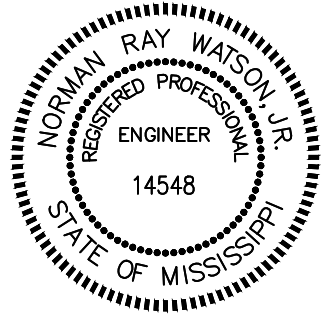
phone 972. 436. 9712
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MS license number: 33729

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REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO. EXO24005
FILENAME EXO24005-PM1
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 30'
DATE 03.05.2025

SHEET

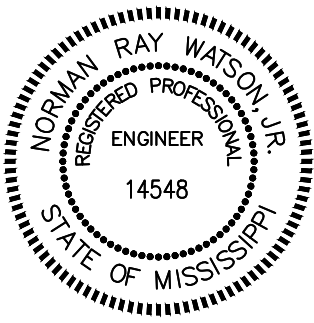
PAVEMENT AND SIGNAGE PLAN

C7.00

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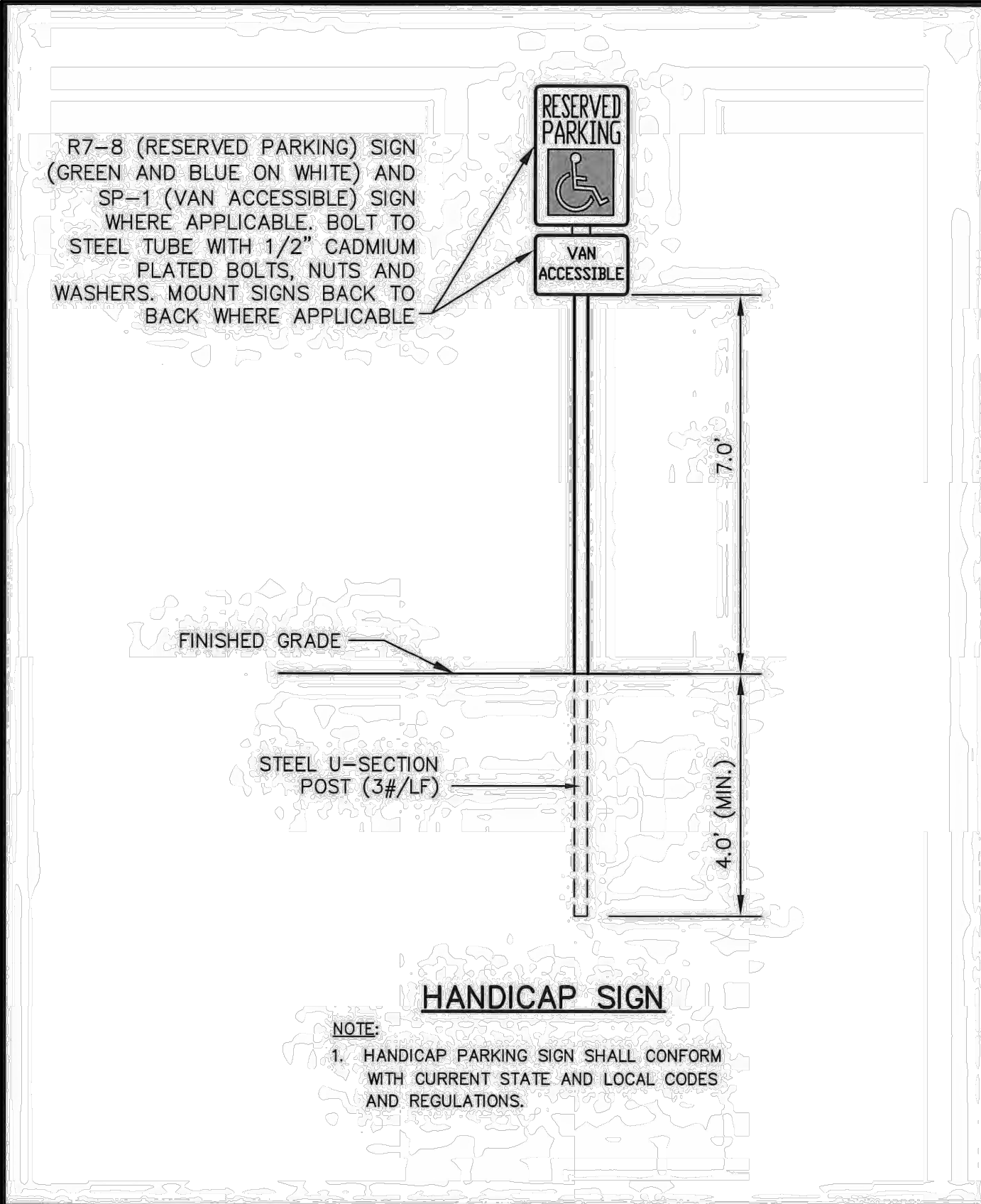
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CHECKED BY NRW
DRAWN BY MD AND MB
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DATE 03.05.2025

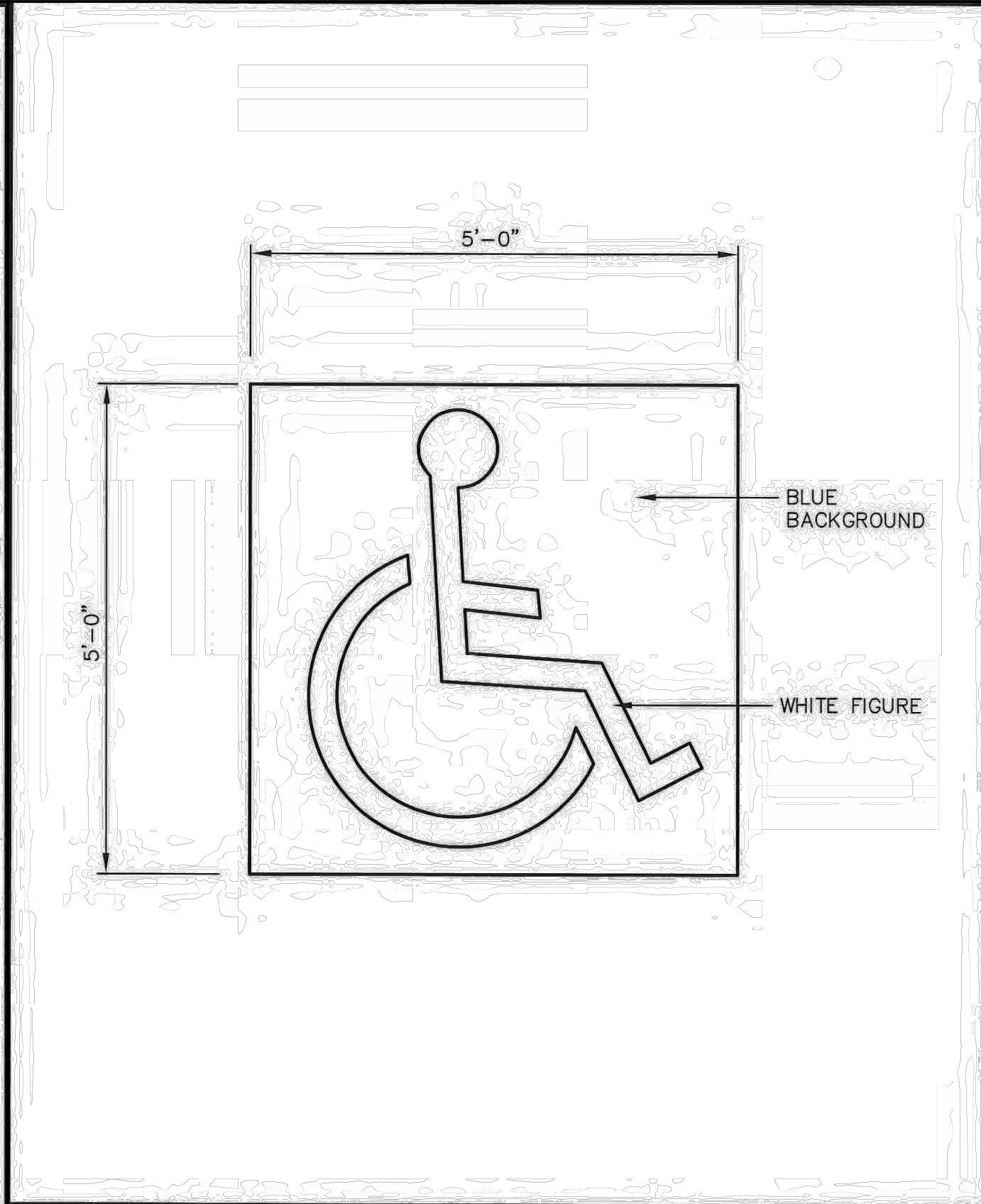
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SITE DETAILS

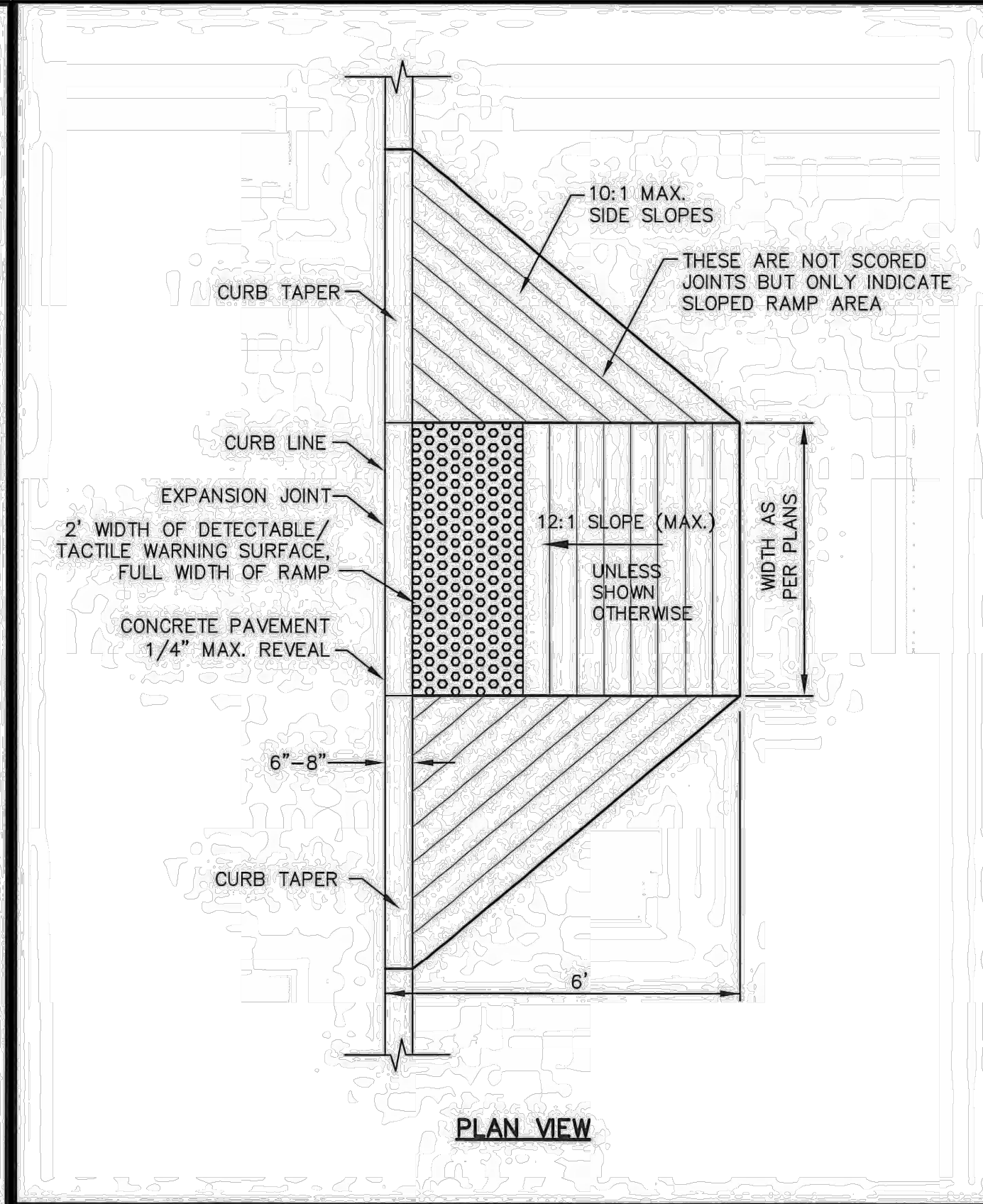
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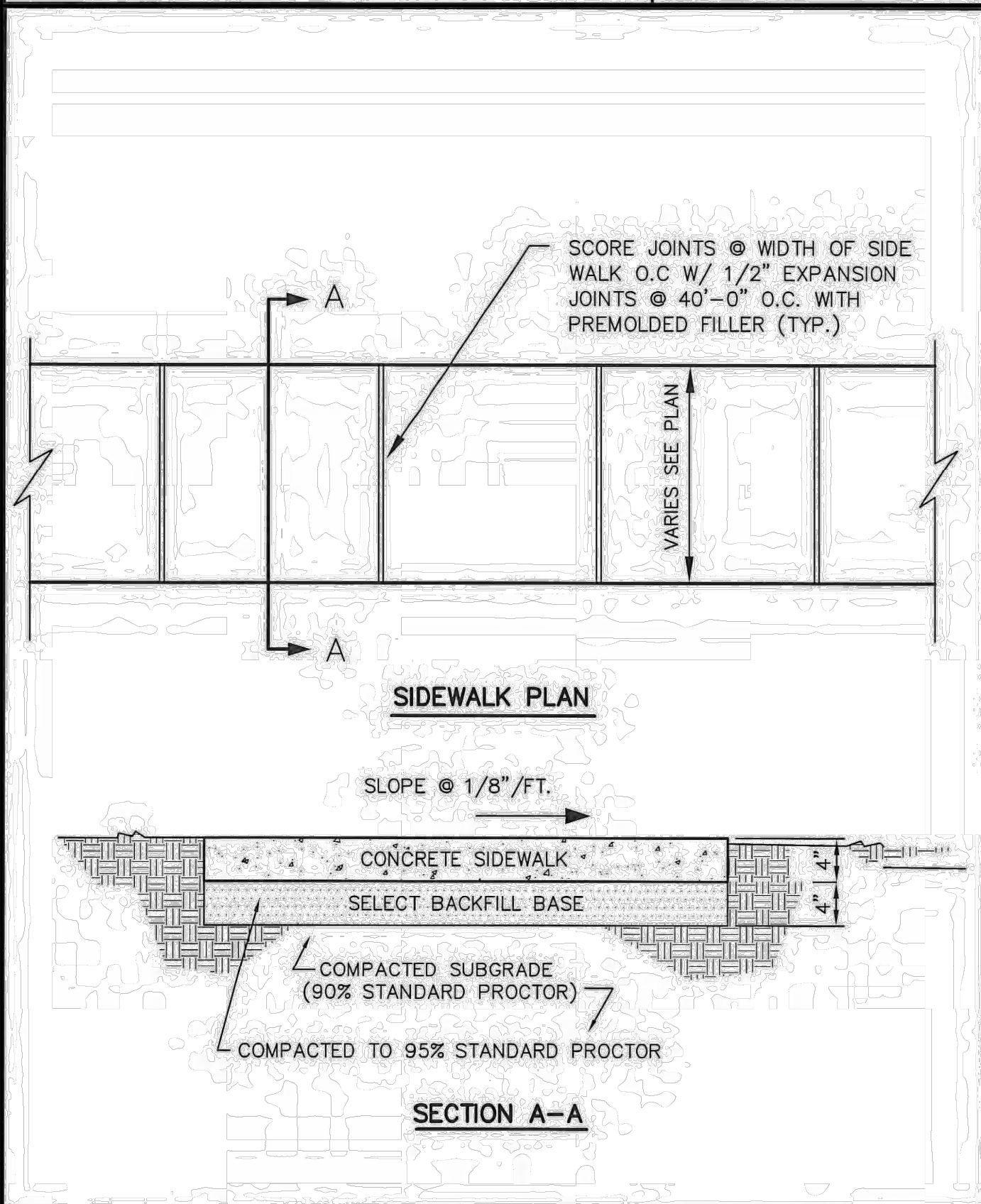
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DATE: 5/20/15	APPR. BY: BCM	REVISION
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DR. BY:	FILE: HCSIGN2	
CITY OF GULFPORT STANDARD CONSTRUCTION DETAILS		



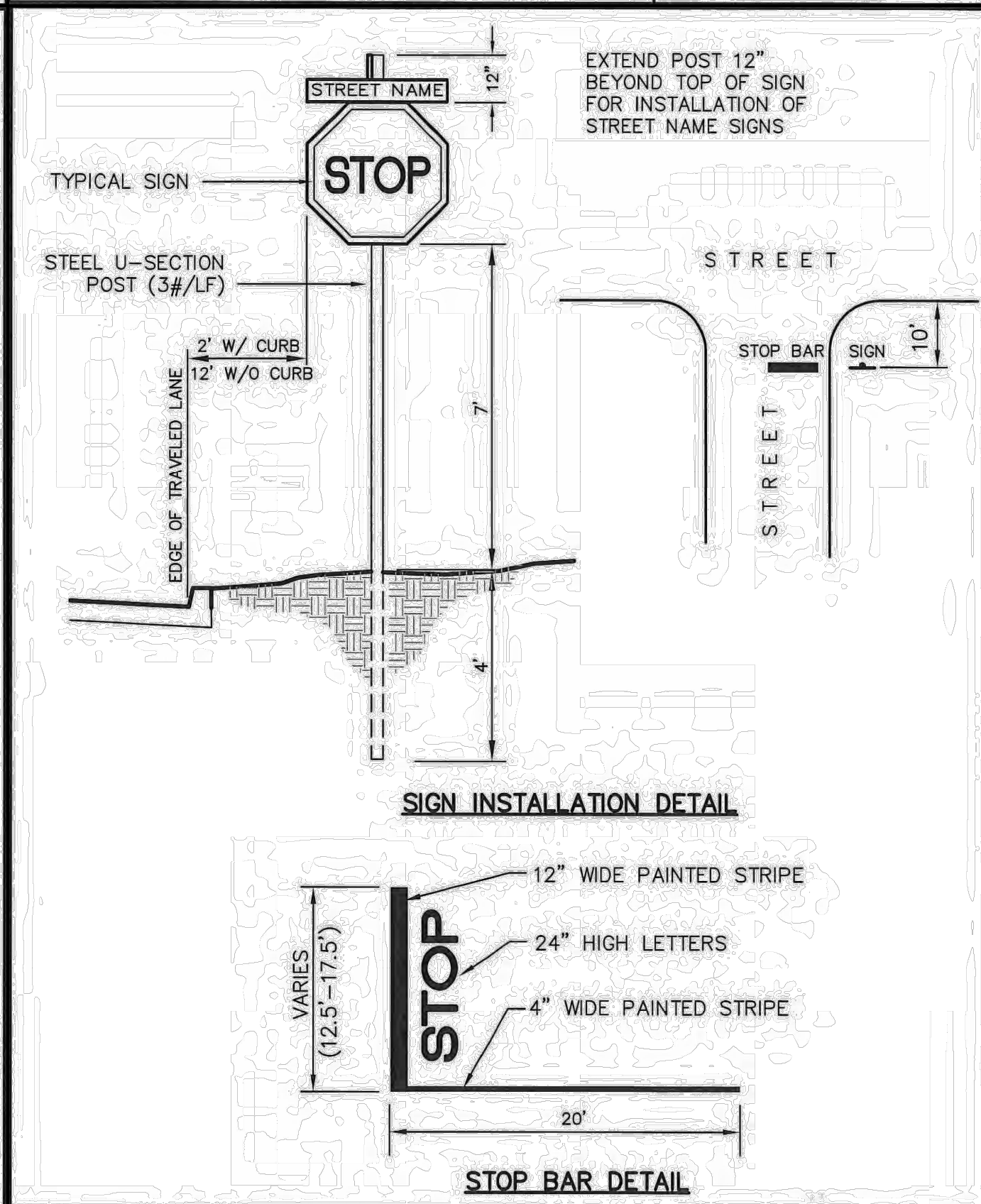
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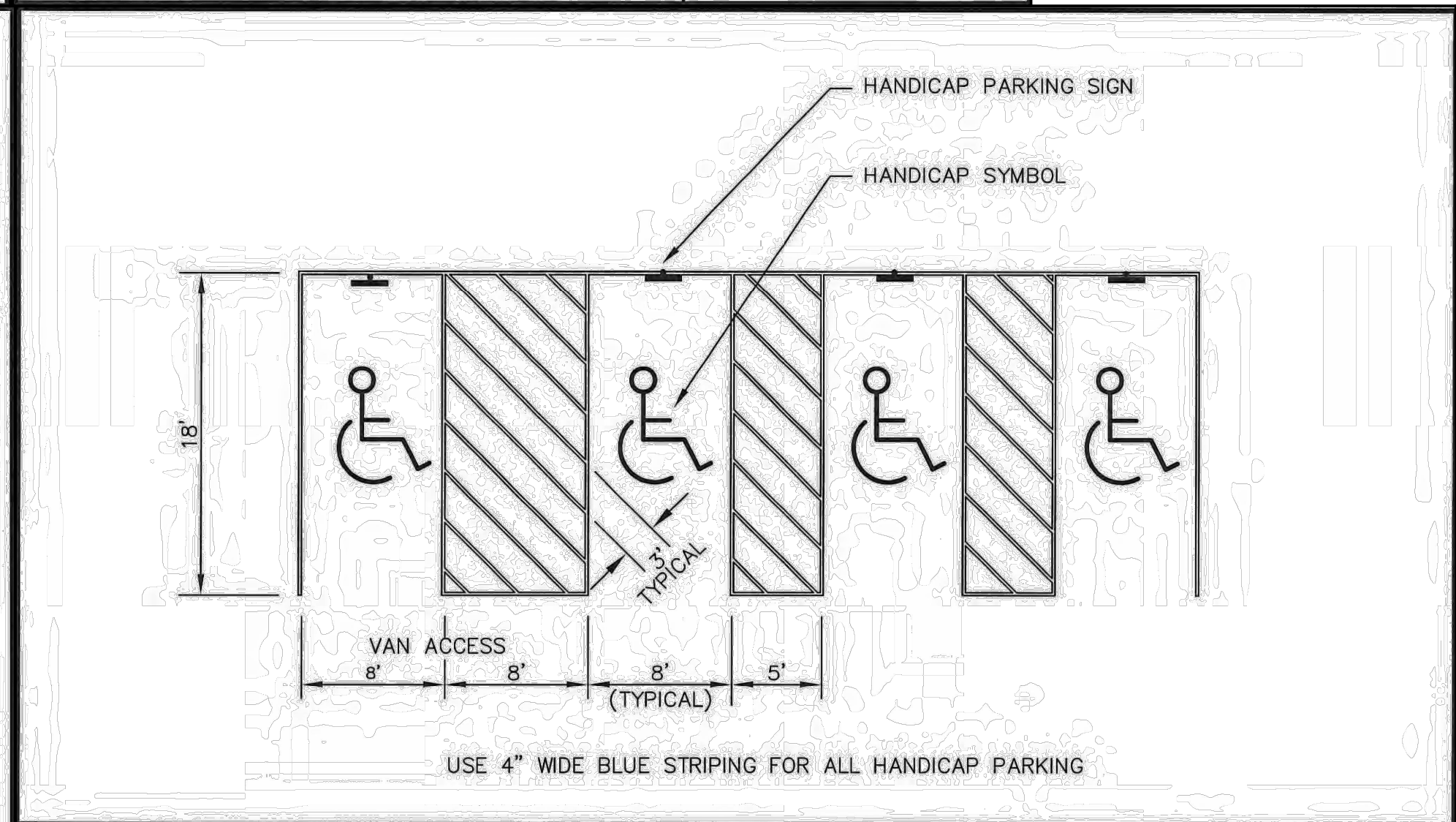
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CITY OF GULFPORT STANDARD CONSTRUCTION DETAILS		



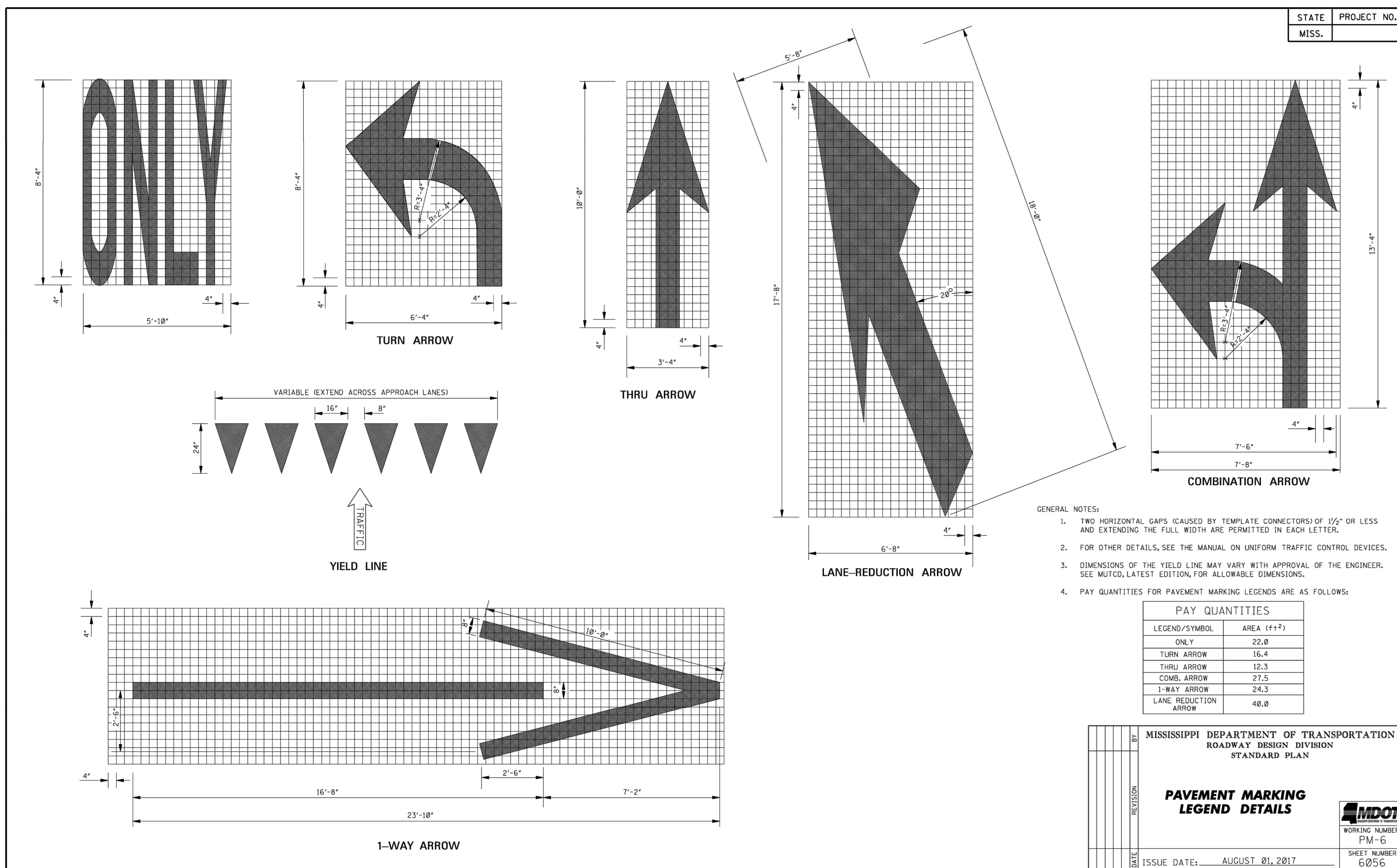
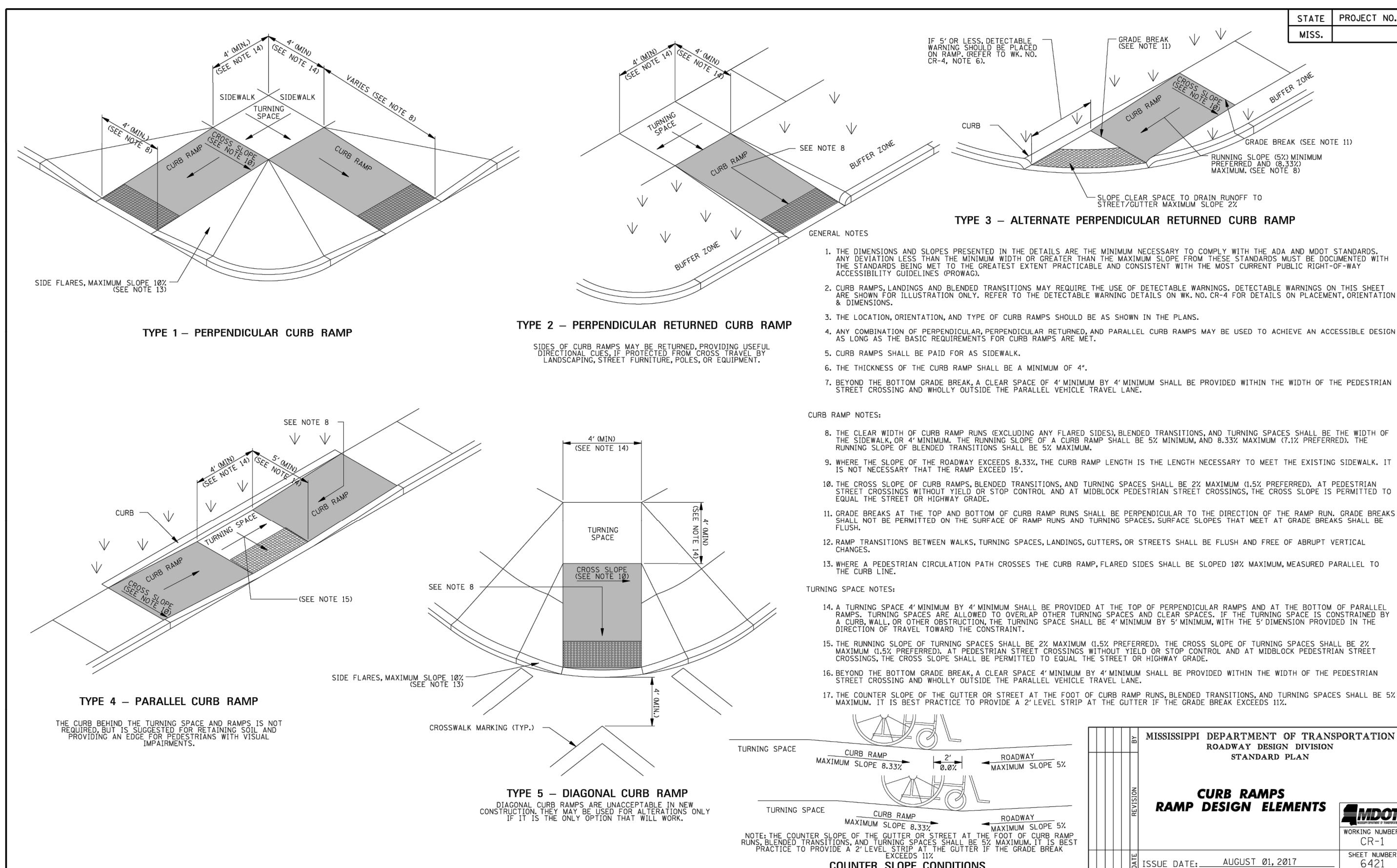
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CITY OF GULFPORT STANDARD CONSTRUCTION DETAILS		



STOP SIGN & BAR DETAIL		
DATE: 5/20/15	APPR. BY: BCM	REVISION
SCALE: N.T.S.	DR. NO.: 02585	
DR. BY:	FILE: STOPSIGN	
CITY OF GULFPORT STANDARD CONSTRUCTION DETAILS		



HANDICAP PARKING DETAIL		
DATE: 5/19/15	APPR. BY: BCM	REVISION
SCALE: N.T.S.	DR. NO.: 02580	
DR. BY:	FILE: HOPARK	
CITY OF GULFPORT STANDARD CONSTRUCTION DETAILS		



REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO.	EX024005
FILENAME	EX024005-D1
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	NTS
DATE	03.05.2025

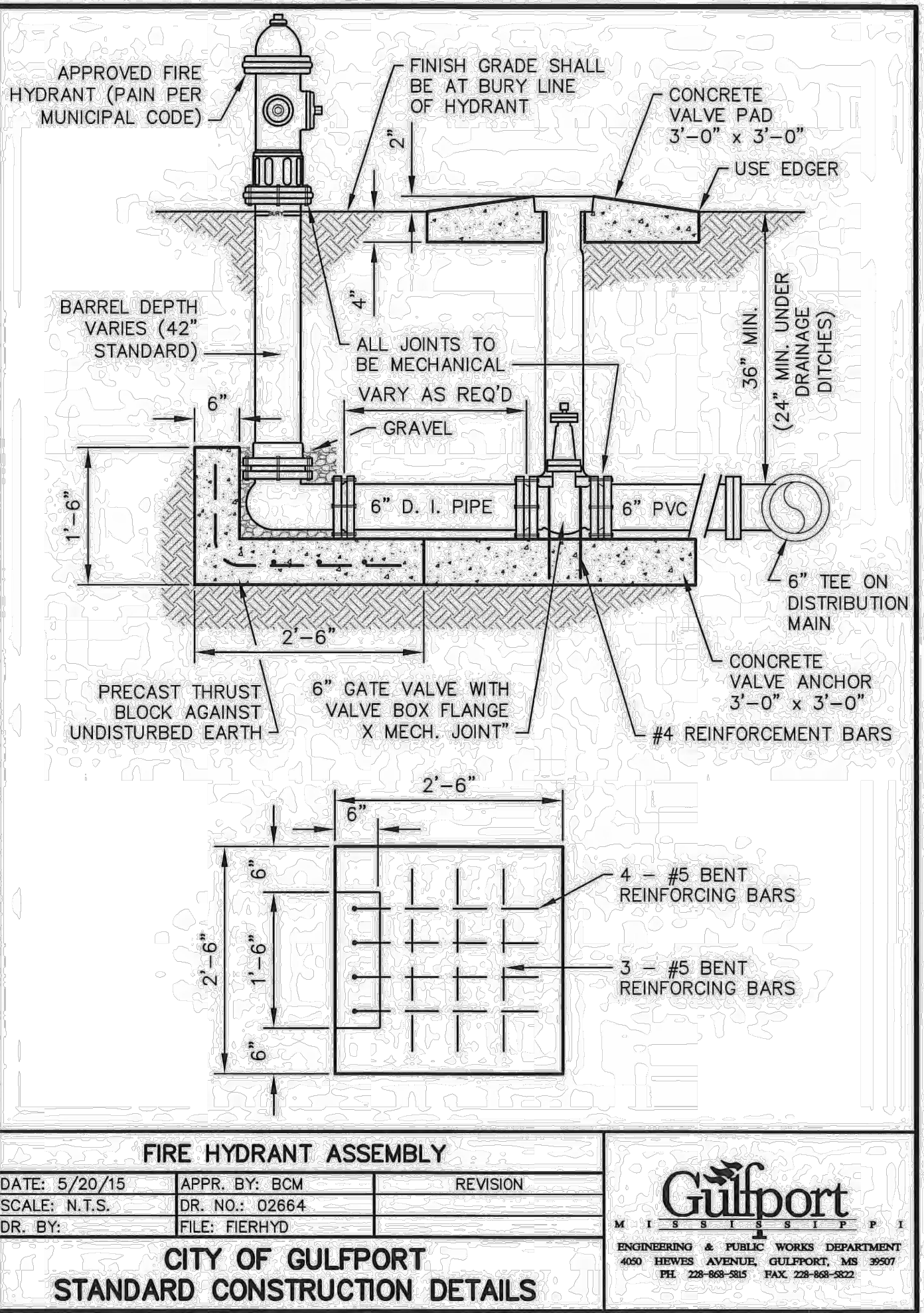
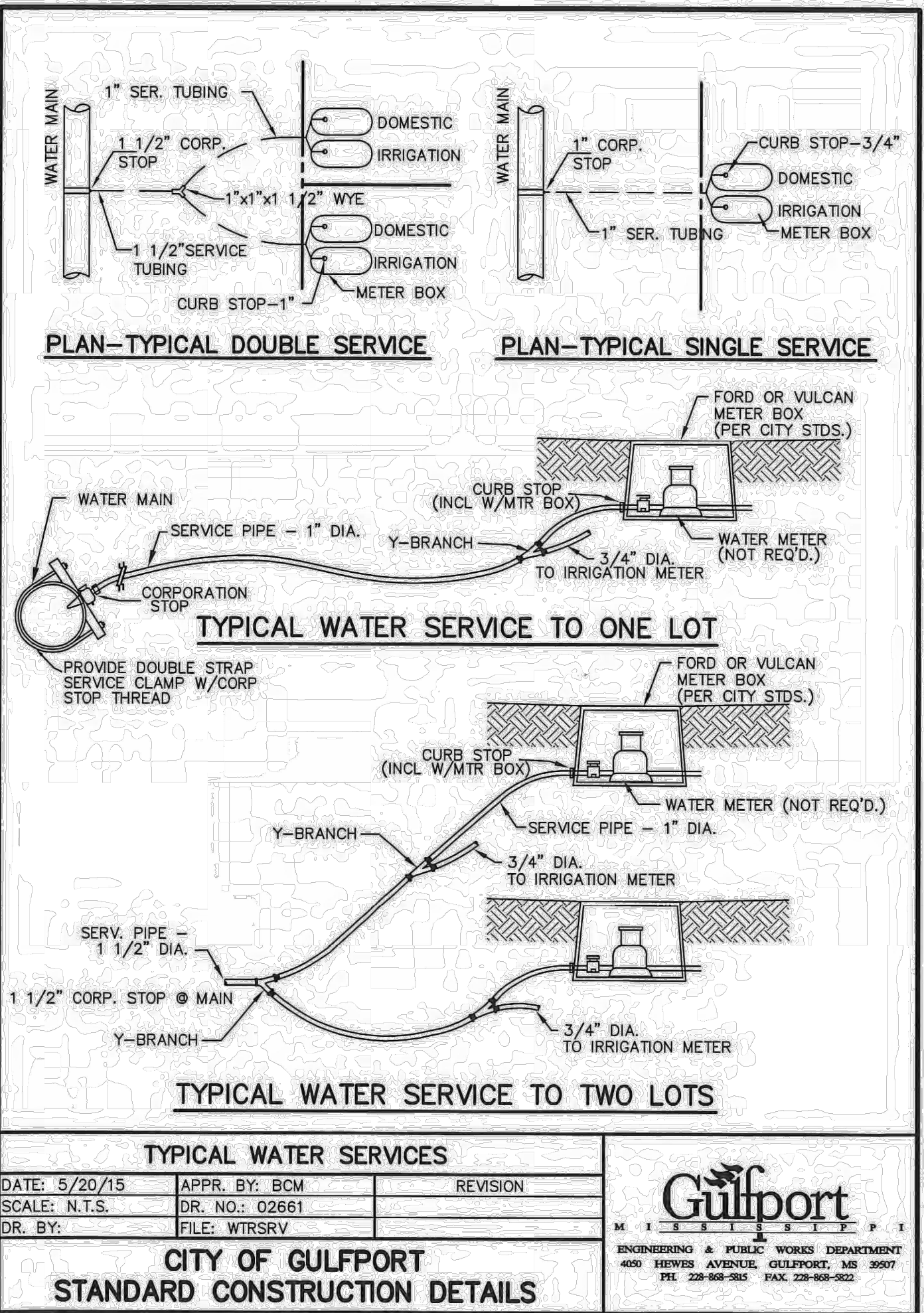
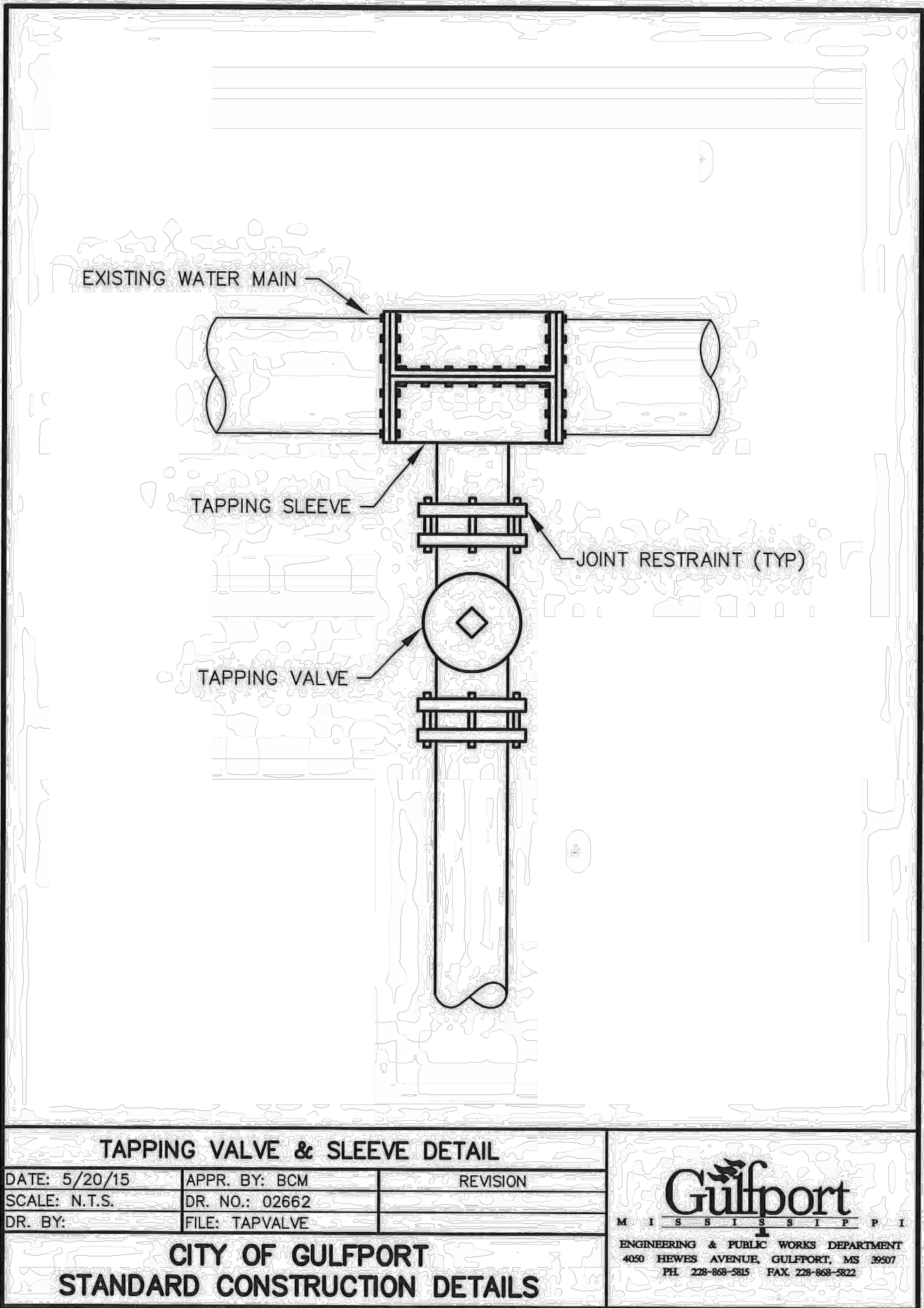
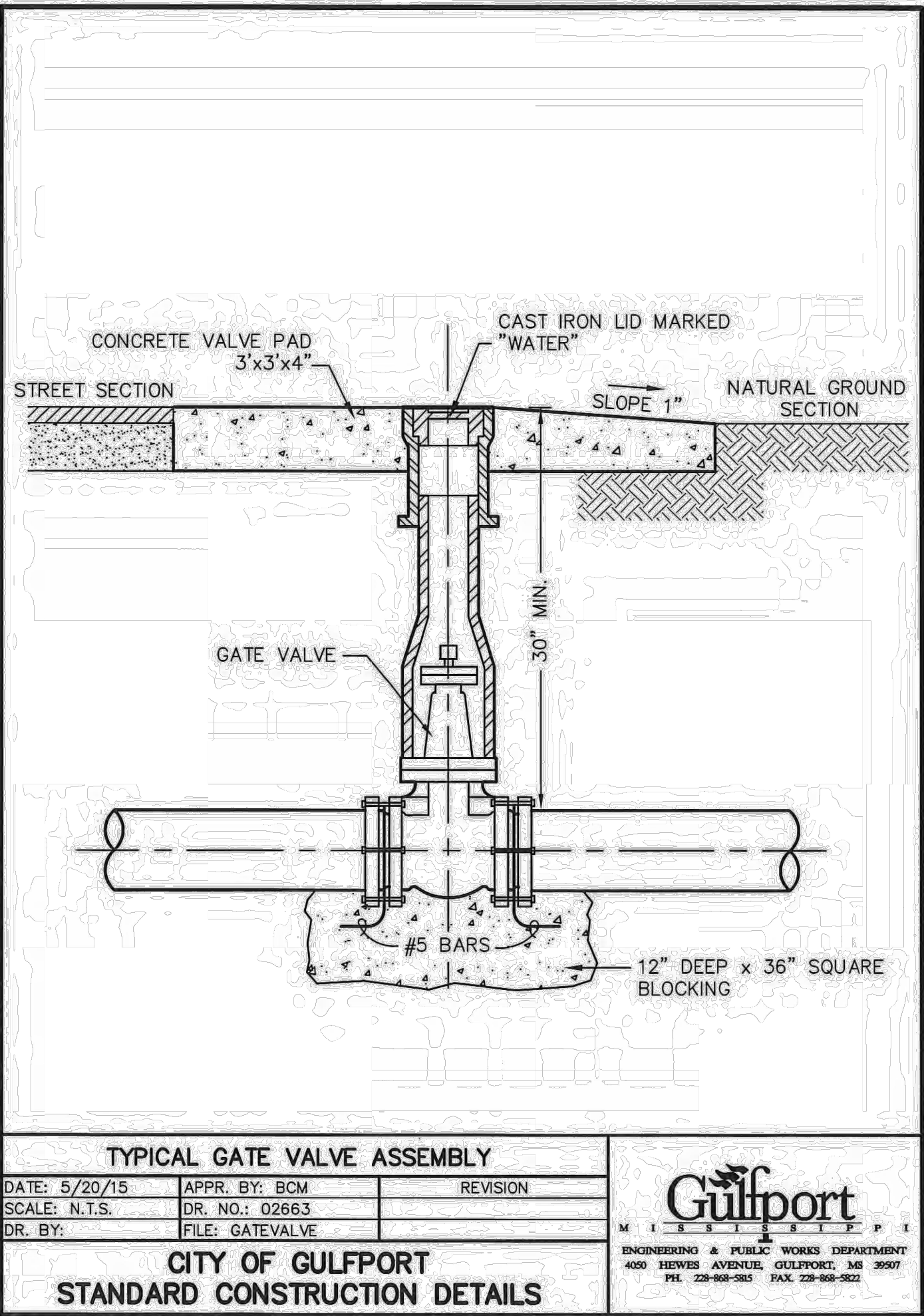
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WATER DETAILS

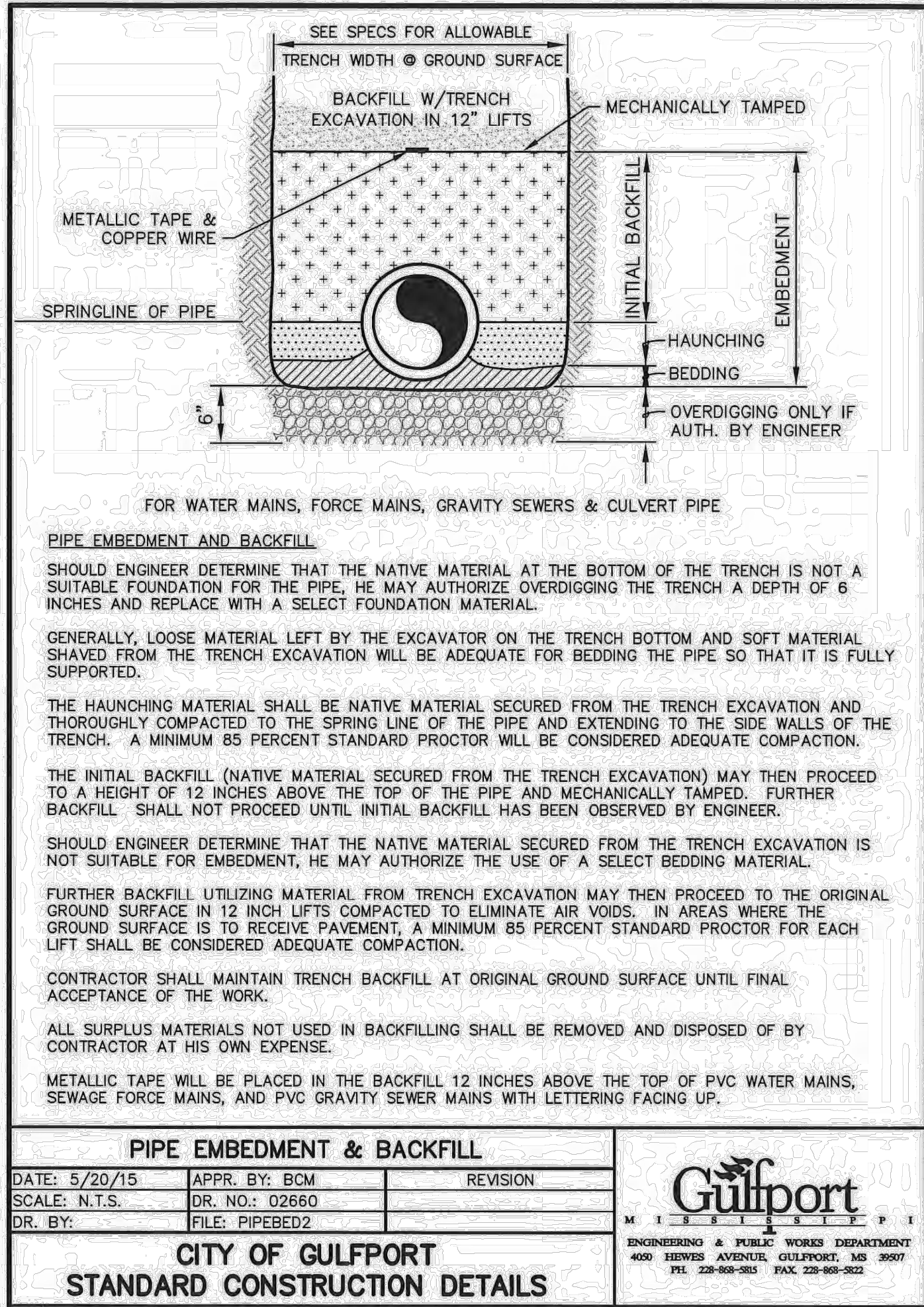
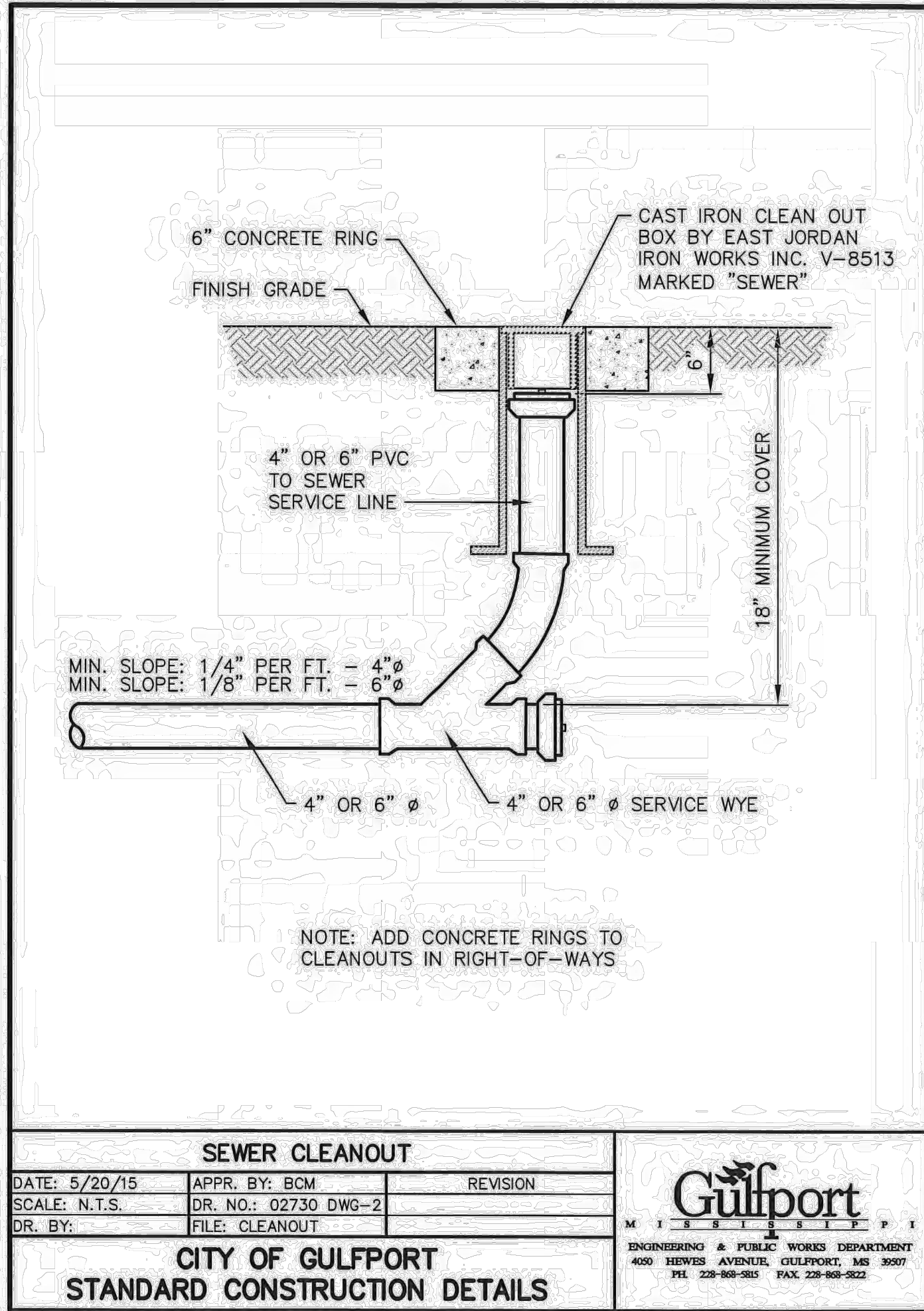
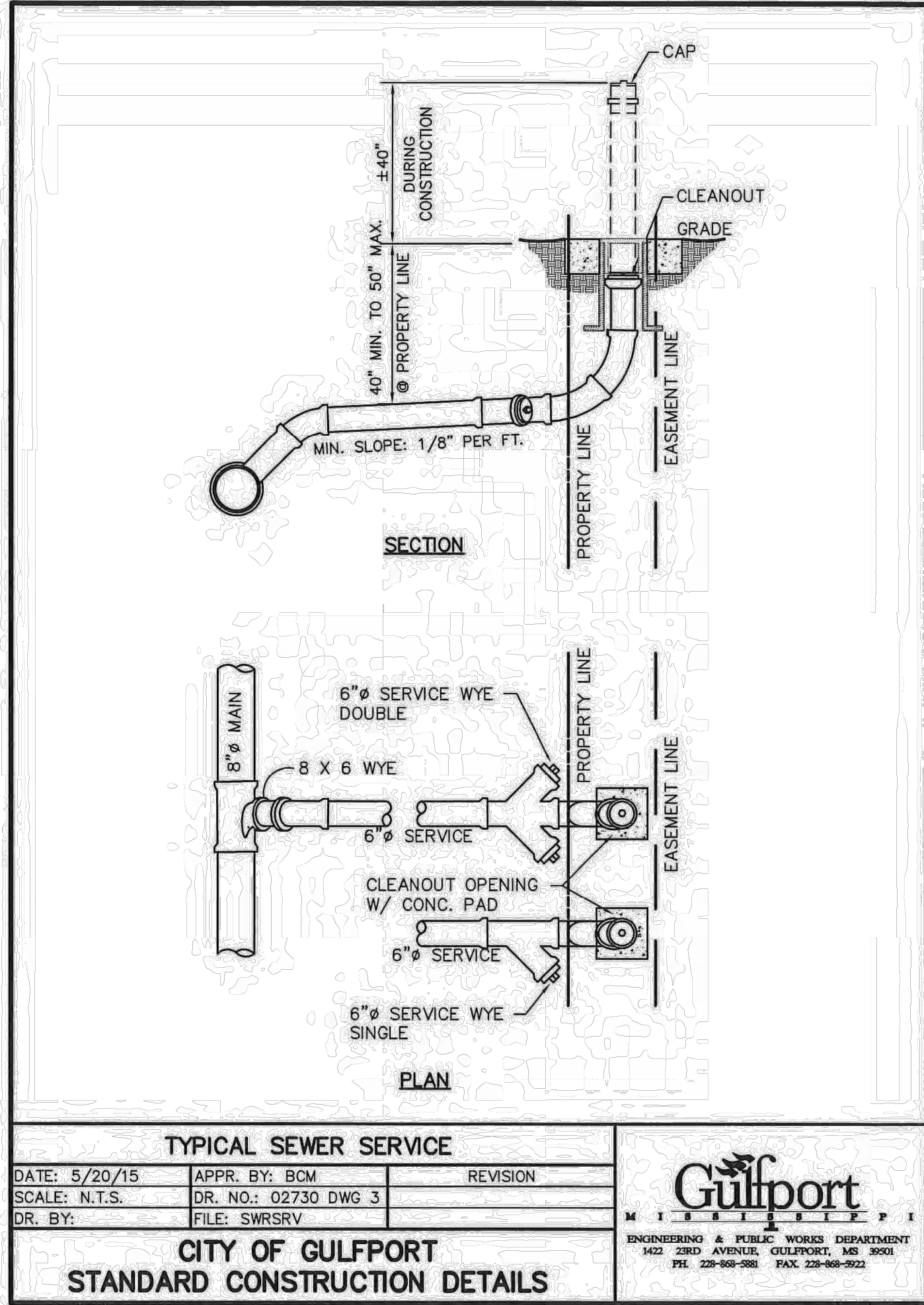
C8.02

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STANDARDS

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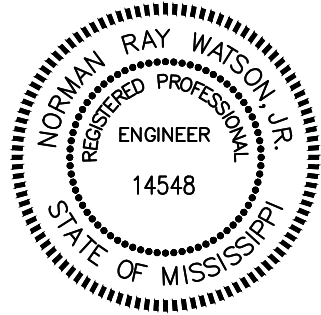
McADAMS
The John R. McAdams Company, Inc.
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Lewisville, Texas 75056

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PLAN INFORMATION

PROJECT NO.	EX024005
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CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	NTS
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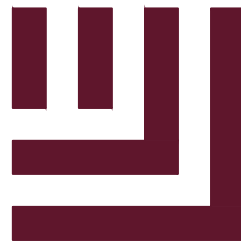
SHEET

SEWER DETAIL

C8.03

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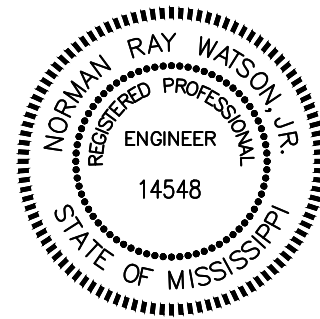
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PLAN INFORMATION

PROJECT NO. EXO24005
FILENAME EXO24005-D1
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE NTS
DATE 03.05.2025

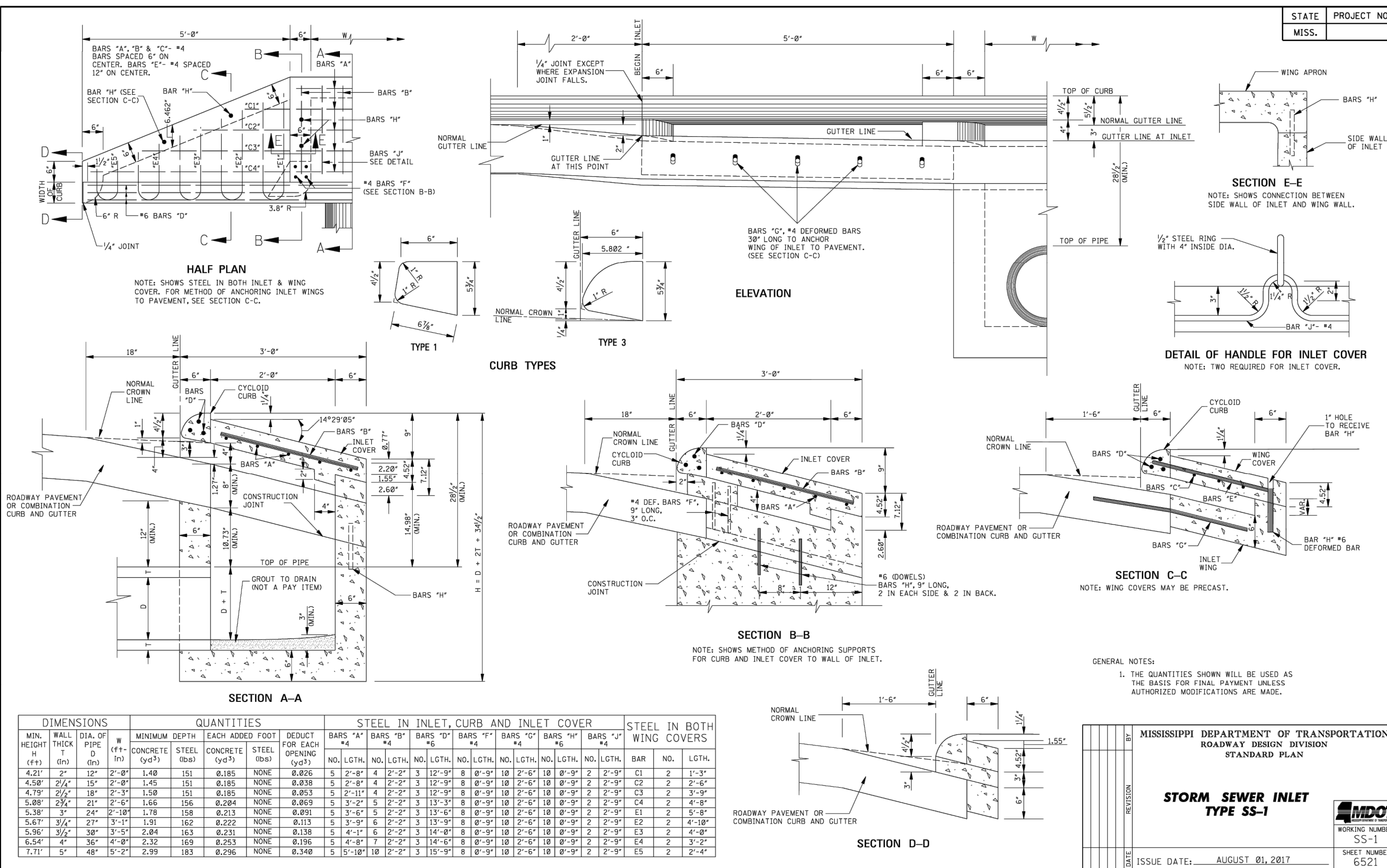
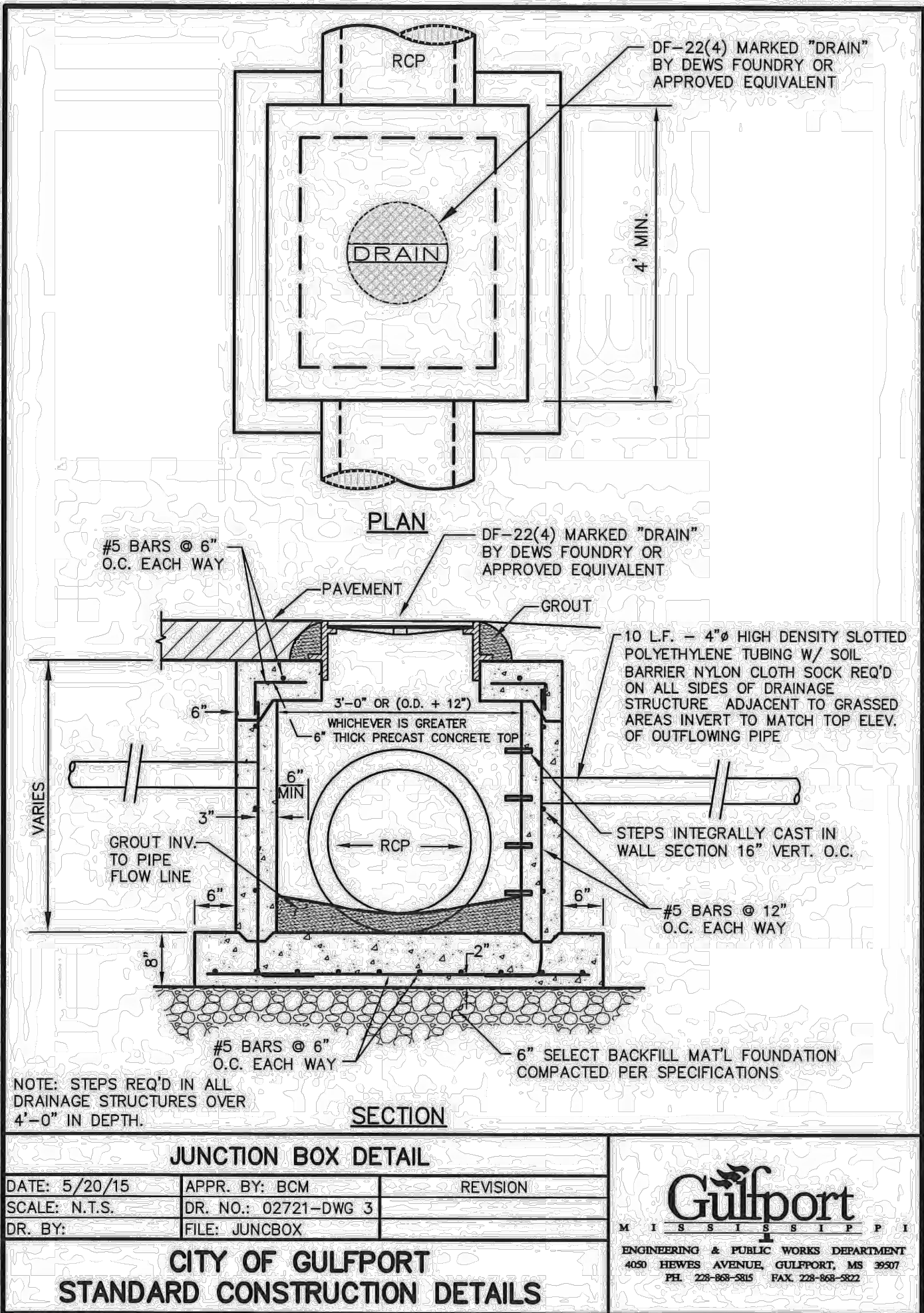
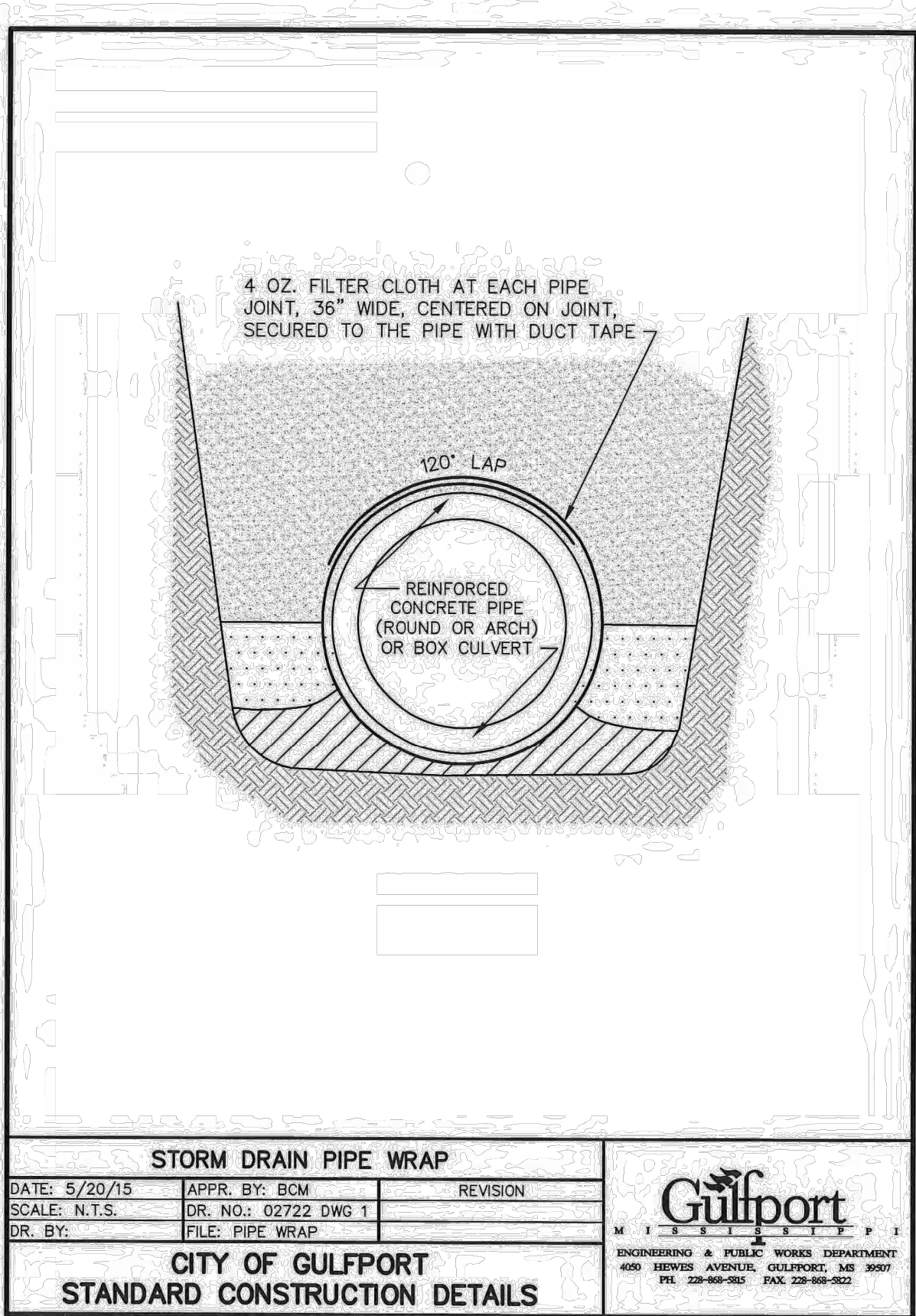
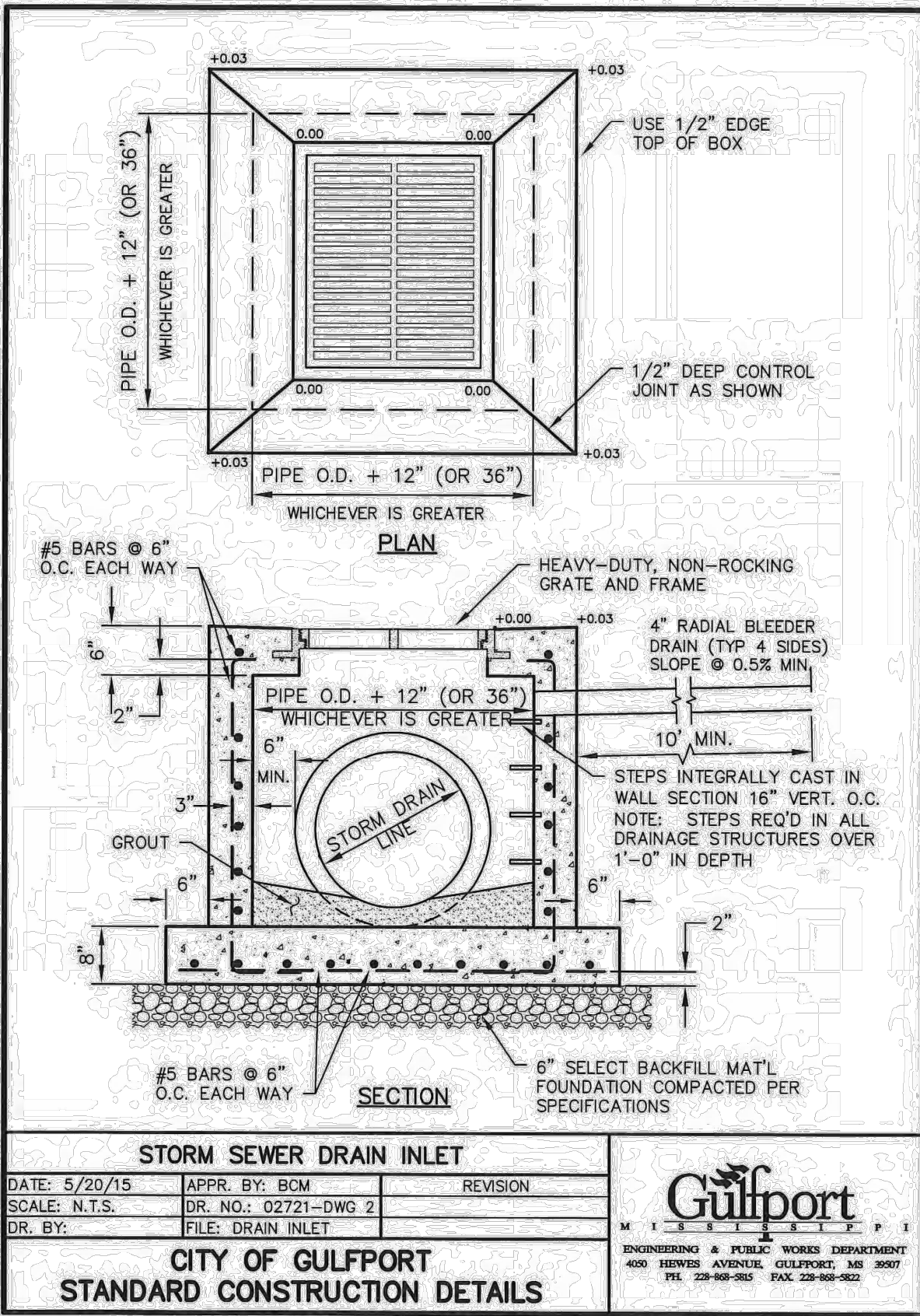
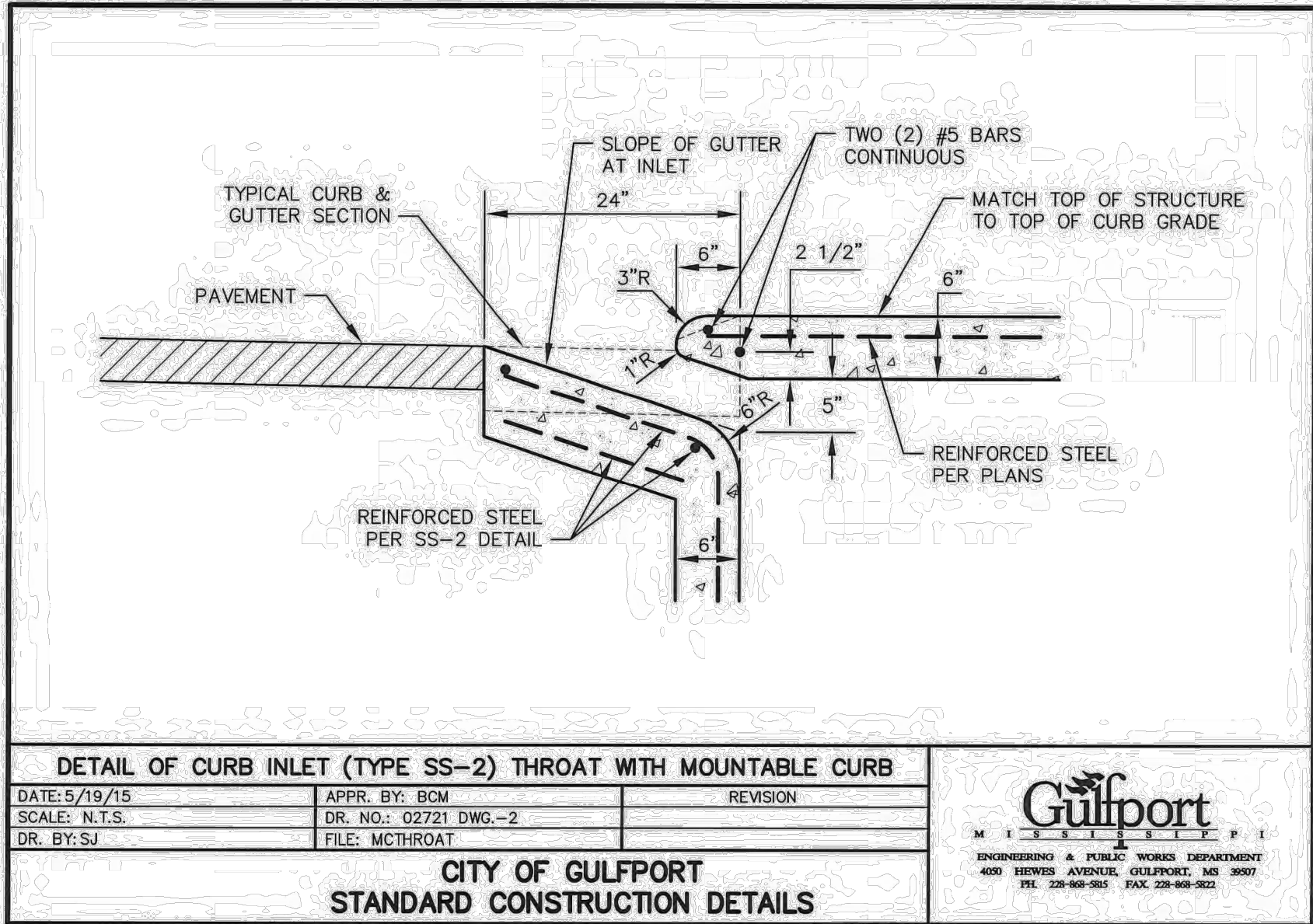
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STORM DETAIL

C8.04

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STANDARDS

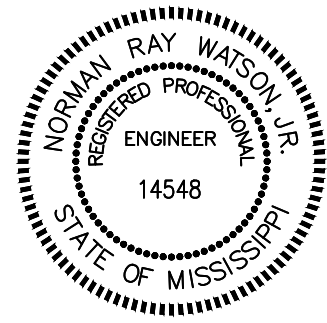
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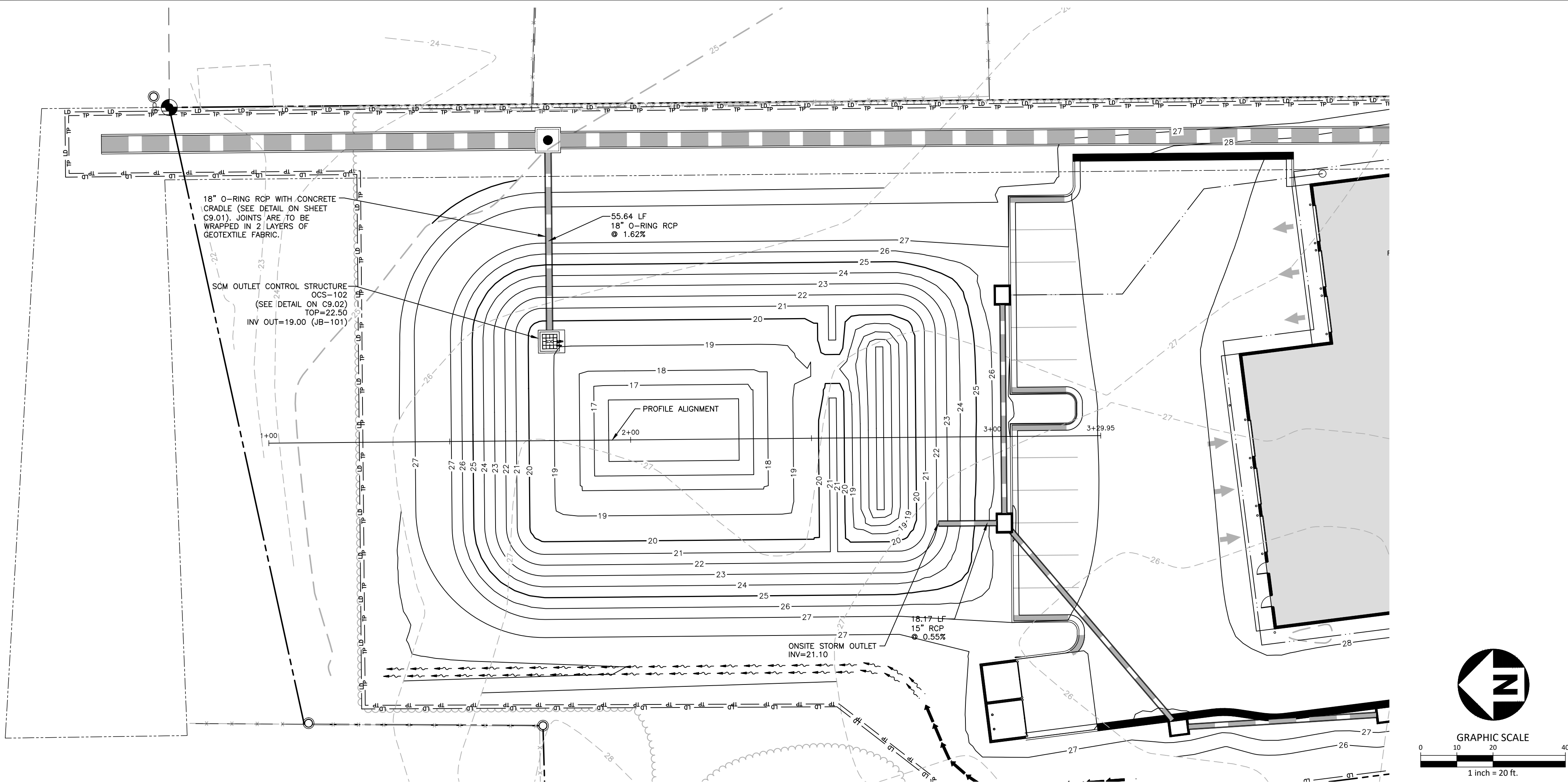
PLAN INFORMATION

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FILENAME EXO24005-SW1
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DRAWN BY MD AND MB
SCALE 1" = 20'
DATE 03.05.2025

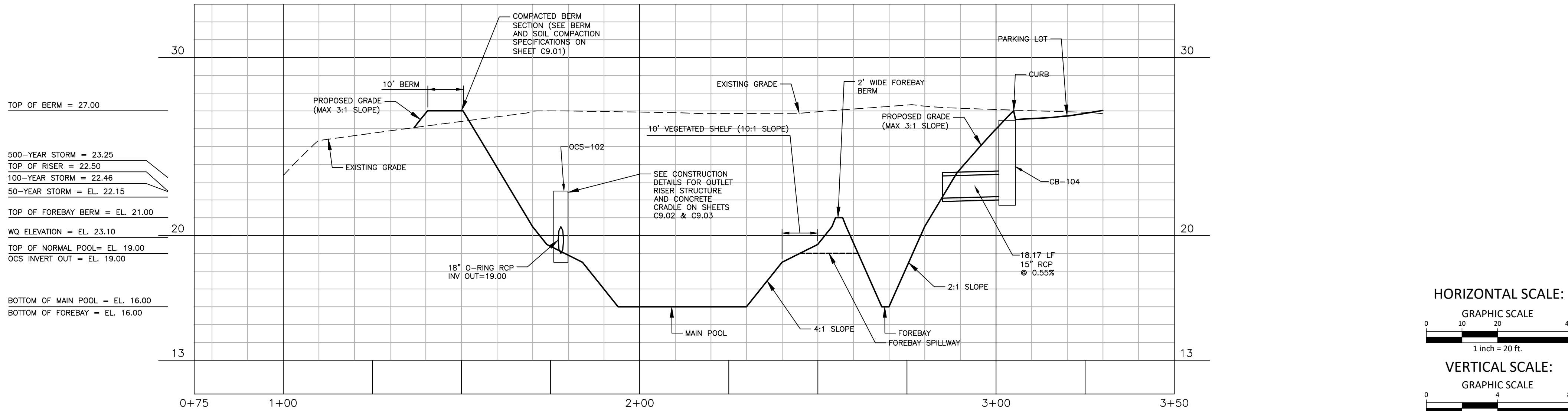
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SCM PLAN & PROFILE

C9.00



SCM PROFILE



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STANDARDS

FINAL DRAWING - ISSUED FOR CONSTRUCTION

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BERM AND SOIL COMPACTION SPECIFICATIONS

1. PRIOR TO CONSTRUCTION, THE ON-SITE GEOTECHNICAL ENGINEER SHALL IDENTIFY BORROW / FILL AREAS AND VERIFY THEIR SUITABILITY FOR USE WITHIN THE DAM EMBANKMENT. ALSO, THE ON-SITE GEOTECHNICAL ENGINEER SHALL PERFORM STANDARD PROCTORS ON THE PROPOSED BORROW MATERIAL TO INSURE THAT OPTIMUM MOISTURE CONTENT AND COMPACTION CAN BE ACHIEVED / CONTROLLED DURING CONSTRUCTION.
2. ALL FILL MATERIALS TO BE USED FOR THE DAM EMBANKMENT SHALL BE TAKEN FROM BORROW AREAS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER. THE FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, WOOD, STONES GREATER THAN 6", AND FROZEN OR OTHER OBJECTIONABLE MATERIAL. THE FOLLOWING SOIL TYPES ARE SUITABLE FOR USE AS FILL WITHIN THE DAM EMBANKMENT AND KEY TRENCH: ML AND CL. ALL FILL MATERIALS SHALL BE APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER FOR THE INTENDED USE.
3. FILL PLACEMENT FOR THE EMBANKMENT SHALL NOT EXCEED A MAXIMUM 8" LIFT (UNCOMPACTED). EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT. FILL MATERIAL ADJACENT TO ALL SPILLWAY AND DRAINAGE STRUCTURES SHALL BE PLACED IN 4-INCH (UNCOMPACTED) LIFTS AND HAND-COMPACTED TO THE SAME COMPACTION AND MOISTURE REQUIREMENTS AS THE ENTIRE EMBANKMENT.
4. ALL FILL SOILS USED IN THE EMBANKMENT CONSTRUCTION SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). THE FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN -1 TO +3 PERCENT OF ITS OPTIMUM MOISTURE CONTENT. COMPACTION TESTS SHALL BE PERFORMED BY THE ON-SITE GEOTECHNICAL ENGINEER DURING CONSTRUCTION TO VERIFY THAT THE PROPER COMPACTION LEVEL HAS BEEN REACHED. THE FILL SHOULD BE COMPACTED USING A SHEEPSFOOT TYPE COMPACTOR. IN ORDER TO PREVENT DAMAGE TO THE PIPE, NO COMPACTION EQUIPMENT SHALL CROSS ANY PIPE UNTIL MINIMUM COVER IS ESTABLISHED ALONG THE PIPE.
5. THE DESIGN ENGINEER SHALL BE PROVIDED WITH REPORTS AND CERTIFICATION BY THE ON-SITE GEOTECHNICAL ENGINEER THAT THE GEOTECHNICAL ASPECTS OF THE FACILITY HAVE BEEN CONSTRUCTED PER PLAN. THIS CERTIFICATION MUST ADDRESS THE TESTING FOR MATERIALS AND COMPACTION OF THE DAM EMBANKMENT AND SPILLWAY. THESE REPORTS AND CERTIFICATION WILL BE NEEDED DURING THE AS-BUILT CERTIFICATION PROCESS FOR THIS STORMWATER CONTROL MEASURE. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE TESTING AND OBSERVATION WITH THE ON-SITE GEOTECHNICAL ENGINEER.
6. TESTING OF THE NEW FILL MATERIALS SHALL BE PERFORMED TO VERIFY THAT THE RECOMMENDED LEVEL OF COMPACTION IS ACHIEVED DURING CONSTRUCTION. THEREFORE, ONE DENSITY TEST SHALL BE PERFORMED FOR EVERY 2,500 SQUARE FEET OF AREA FOR EVERY LIFT OF FILL OR AS RECOMMENDED BY THE ON-SITE GEOTECHNICAL ENGINEER.
7. TESTING WILL BE REQUIRED ALONG THE 18"Ø RCP OUTLET BARREL AT A FREQUENCY OF ONE TEST PER 25 LF OF PIPE PER VERTICAL FOOT OF FILL OR AS DIRECTED BY THE ON-SITE GEOTECHNICAL ENGINEER.

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE DESIGN ENGINEER'S ATTENTION IMMEDIATELY. IF THE CONTRACTOR, IN THE COURSE OF WORK, FINDS ANY DISCREPANCIES IN THE PLANS OR NOTES GIVEN BY THE PROJECT ENGINEER, IT SHALL BE THEIR DUTY TO IMMEDIATELY INFORM THE PROJECT ENGINEER IN WRITING. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LICENSES AND PERMITS REQUIRED TO COMPLETE THE WORK INCLUDED IN THE CONTRACT DOCUMENTS AT THE CONTRACTOR'S EXPENSE.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT AND MOST UP-TO-DATE PLANS AVAILABLE.
4. THE PROJECT WILL MEET ALL RELEVANT DESIGN REQUIREMENTS IN THE MISSISSIPPI HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS AND THE CITY OF GULFPORT REGULATIONS AND STANDARDS.
5. THE DESIGN ENGINEER OR THEIR REPRESENTATIVE SHALL BE ON SITE FOR THE INSTALLATION OF ESSENTIAL ELEMENTS OF THE PRINCIPAL SPILLWAY INCLUDING BUT NOT LIMITED TO THE ANTI-FLOAT BLOCK, RISER, CONCRETE COLLAR, CONCRETE CRADLE, AND THE OUTLET BARREL. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER 72 HOURS PRIOR TO INSTALLATION OF THESE ITEMS TO ENSURE THAT A REPRESENTATIVE CAN BE ON-SITE. PHOTOGRAPHS OF THESE ITEMS MUST BE TAKEN PRIOR TO BACKFILLING FOR USE IN THE AS-BUILT PHASE. IF THE CONTRACTOR INSTALLS THESE WITHOUT THE ENGINEER OR ENGINEER'S REPRESENTATIVE ON-SITE, THEN THE ELEMENTS SHALL BE UNCOVERED FOR INSPECTION AT THE CONTRACTOR'S EXPENSE.
6. THE FINAL CERTIFICATION FOR THIS FACILITY WILL INCLUDE A CERTIFICATION BY THE ON-SITE GEOTECHNICAL ENGINEER THAT THE PROJECT WAS CONSTRUCTED PER THE APPROVED PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE ON-SITE GEOTECHNICAL ENGINEER FOR OBSERVATION AND TESTING SUCH THAT THE ON-SITE GEOTECHNICAL ENGINEER CAN CERTIFY THE CONSTRUCTION OF THE DAM EMBANKMENT AND SPILLWAY. THIS CERTIFICATION MUST ADDRESS THE TESTING FOR MATERIALS AND COMPACTION OF THE DAM EMBANKMENT AND SPILLWAY.
7. ALL CONSTRUCTION ACTIVITY RELATED TO THE PROPOSED STORMWATER CONTROL MEASURE SHALL BE PER THE DETAILS AND SPECIFICATIONS SHOWN IN THESE DRAWINGS, SOILS, COMPACTION, AND OTHER MISCELLANEOUS DETAILS AND SPECIFICATIONS MAY BE MODIFIED PER THE RECOMMENDATIONS OF THE ON-SITE GEOTECHNICAL ENGINEER. HOWEVER, PRIOR TO IMPLEMENTATION, THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DEVIATION FROM THESE DESIGN DRAWINGS, INCLUDING SHOP DRAWINGS FOR ANY PROPOSED MODIFICATION.
8. DURING THE INITIAL STAGES OF CONSTRUCTION, THE STORMWATER CONTROL MEASURE MAY BE USED AS A SEDIMENT BASIN FOR EROSION CONTROL PURPOSES. IF SO, THE CONTRACTOR SHALL FOLLOW THE GENERAL CONSTRUCTION SEQUENCE BELOW:
 - A. THE CONTRACTOR SHALL CONSTRUCT THE ENTIRE FACILITY (PERMANENT OUTLET STRUCTURE, DAM, ETC.) WITH THE EXCEPTION OF THE INTERIOR FINE GRADING FOR THE FACILITY. THE INTERIOR FINE GRADING WILL BE CONSTRUCTED ONCE THE EROSION CONTROL PHASE IS COMPLETE.
 - B. THE TEMPORARY DRAWDOWN RISER (OR SKIMMER) SHALL BE CONNECTED TO THE PERMANENT 18"Ø RCP DRAIN PIPE.
 - C. ONCE THE UPSTREAM DRAINAGE AREA IS STABILIZED AND THE EROSION CONTROL INSPECTOR APPROVES THE REMOVAL OF THE SEDIMENT BASIN, THE CONTRACTOR SHALL REMOVE THE TEMPORARY DRAWDOWN RISER (OR SKIMMER) AND CLEAN OUT THE BASIN IN ACCORDANCE WITH EROSION CONTROL STANDARD PRACTICES. ALL SEDIMENT, TRASH, ETC. SHALL BE DISPOSED OF PROPERLY (I.E. PLACED IN A LANDFILL) AND NOT STOCKPILED IN AN AREA WHERE WATER QUALITY COULD BE ADVERSELY AFFECTED.
 - D. ONCE THE BASIN IS CLEANED OUT, AND ALL EROSION CONTROL DEVICES REMOVED, THE CONTRACTOR SHALL CONSTRUCT THE INTERIOR GRADING SHOWN ON THIS SHEET.
 - E. ONCE THE GRADING IS COMPLETE, THE CONTRACTOR SHALL REQUEST AN ON-SITE INSPECTION AND AN AS-BUILT SURVEY PRIOR TO INSTALLATION OF THE STORMWATER CONTROL MEASURE PLANTS. IF THE CONTRACTOR PLANTS THE PROPOSED VEGETATION PRIOR TO AN AS-BUILT SURVEY (AND SUBSEQUENT APPROVAL), ANY CHANGES TO THE GRADING / RE-PLANTING OF PLANTS WILL BE AT THE CONTRACTOR'S EXPENSE.
 - F. ONCE THE ENGINEER HAS APPROVED THE AS-BUILT GRADING, THE CONTRACTOR SHALL PLANT THE PROPOSED STORMWATER CONTROL MEASURE PLANTS SHOWN ON THE LANDSCAPE PLAN FOR THE FACILITY. AFTER COMPLETION OF THE PLANTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A LETTER TO THE ENGINEER CERTIFYING THAT THE PLANTS HAVE BEEN INSTALLED PER THE APPROVED STORMWATER CONTROL MEASURE PLANTING PLAN.
9. ALL OSHA REQUIREMENTS FOR EXCAVATIONS (SHORING, DEPTH, ETC.) ARE THE RESPONSIBILITY OF THE CONTRACTOR. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE AN EXCAVATION PLAN TO BE SEALED BY A N.E.P.E. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF AN EXCAVATION PLAN IS REQUIRED. THE JOHN R. MCADAMS COMPANY ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION DESIGN RELATED TO SAFETY OR OSHA REQUIREMENTS.
10. ON-SITE GEOTECHNICAL ENGINEER SHALL DETERMINE THE IN-SITU SOIL INFILTRATION RATE OF THE STORMWATER CONTROL MEASURE BOTTOM. BASED ON THE RESULTS, THE DESIGN ENGINEER SHALL DETERMINE IF A LINER WILL BE NEEDED TO MAINTAIN A PERMANENT POOL. UPON DETERMINATION OF HIGHLY PERMEABLE SOILS AND THE SEASONAL HIGH WATER TABLE OUTSIDE OF THE ACCEPTABLE RANGE, THE DESIGN ENGINEER WILL PROVIDE SPECIFICATIONS FOR THE LINER.
11. IT IS ANTICIPATED THAT DEWATERING WILL BE NECESSARY IN THE EXCAVATION AREAS (E.G. - EMBANKMENT SUB GRADE, INTERIOR PORTIONS OF THE STORMWATER CONTROL MEASURE, AND KEY TRENCH). THEREFORE, THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE STORMWATER CONTROL MEASURE SITE. DURING PLACEMENT OF FILL WITHIN THESE AREAS, THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION / CONSTRUCTION AREAS. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE, WITH NO SEDIMENT DISCHARGED FROM THE SITE (I.E. PUMPED WATER MAY NEED TO BE DIRECTED TO AN APPROVED EROSION CONTROL DEVICE PRIOR TO DISCHARGE).
12. PRIOR TO TOPSOIL INSTALLATION, THE CONTRACTOR SHALL SCARIFY THE TOP 2-3" OF THE BERM SECTION TO PROMOTE BONDING OF THE TOPSOIL WITH THE COMPACTED FILL. THE TOPSOIL DEPTH SHALL RANGE FROM 3-4" ON THE DAM EMBANKMENT AND AQUATIC SHELF. PLEASE NOTE THE TOPSOIL SHALL BE AMENDED AS DIRECTED BY A LANDSCAPE PROFESSIONAL PRIOR TO INSTALLATION ON THE EMBANKMENT AND AQUATIC SHELF.
13. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY PERIOD FOR ALL PLANTINGS IN THE STORMWATER CONTROL MEASURE.
14. THE CONTRACTOR SHALL REFER TO THE PLANTING PLAN FOR THE PERMANENT PLANTING PLAN/SCHEDULE FOR THIS FACILITY. CONTRACTOR SHALL COORDINATE WITH A LANDSCAPE PROFESSIONAL REGARDING SCHEDULING FOR PLANT INSTALLATION. PLEASE NOTE THAT NO TREES/SHRUBS OF ANY TYPE MAY BE PLANTED ON FILL AREAS OF THE PROPOSED DAM EMBANKMENT.

CONSTRUCTION SEQUENCE

1. PRIOR TO CONSTRUCTION, THE OWNER SHALL OBTAIN A LAND DISTURBING (GRADING) PERMIT AND AN "APPROVAL TO CONSTRUCT" FROM THE CITY OF GULFPORT AND ALL OTHER NECESSARY PERMITS FROM APPLICABLE AGENCIES.
2. INSTALL ALL SEDIMENT AND EROSION CONTROL MEASURES PER THE APPROVED SEDIMENT AND EROSION CONTROL PLAN. THE CONTRACTOR SHALL MAINTAIN ALL APPROVED SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT THE ENTIRE PROJECT, AS REQUIRED. THE CONTRACTOR SHALL RECEIVE APPROVAL FROM THE EROSION CONTROL INSPECTOR, AS REQUIRED BY GOVERNING AGENCIES, PRIOR TO ANY CLEARING.
3. CLEAR AND GRUB AREA WITHIN THE LIMITS OF THE PROPOSED DAM CONSTRUCTION, ADHERING TO THE "BERM AND SOIL COMPACTION" NOTES. ALL TREES AND THEIR ENTIRE ROOT SYSTEMS MUST BE REMOVED FROM THE DAM FOOTPRINT AREA AND BACKFILLED WITH SUITABLE SOIL MATERIAL. THE BACKFILLED AREAS SHALL BE COMPACTED TO THE SAME STANDARDS AS THE DAM EMBANKMENT. THE REMAINING AREA OF THE EMBANKMENT SHALL BE STRIPPED TO A SUITABLE DEPTH AS DIRECTED BY THE ON-SITE GEOTECHNICAL ENGINEER. ANY RESIDUAL SOILS TO BE LEFT IN PLACE MUST BE WELL SCARIFIED TO PROMOTE BONDING OF THE NEW EMBANKMENT FILL. NO EMBANKMENT MATERIAL SHALL BE PLACED FOR THE DAM OR KEY TRENCH UNTIL APPROVAL OF THE DAM SUBGRADE IS OBTAINED FROM THE ON-SITE GEOTECHNICAL ENGINEER.
4. EXCAVATE FOR THE NEW KEY TRENCH ALONG THE CENTERLINE OF THE PROPOSED DAM EMBANKMENT. THE TRENCH SHALL EXTEND A MINIMUM OF 5 FT BELOW EXISTING GRADE OR 2 FT BELOW THE 18"Ø RCP OUTLET BARREL AND SHALL HAVE A MINIMUM BOTTOM WIDTH OF 5 FEET. THE KEY TRENCH SIDESLOPES SHALL BE A MINIMUM OF 1:1 (H:V). WHEN EXCAVATING THE KEY TRENCH, IF ANY DEBRIS IS ENCOUNTERED TO AN EXTENT THAT SUCH DEBRIS MAY EXIST IN OTHER INSTU PORTIONS OF THE DAM EMBANKMENT, IT SHOULD ALSO BE REMOVED. THE KEY TRENCH SHALL BE COMPACTED TO THE SAME SPECIFICATION LISTED IN ITEM 4 OF THE "BERM AND SOIL COMPACTION SPECIFICATIONS" NOTES. DEPENDING UPON ON-SITE SOIL CONDITIONS ENCOUNTERED DURING EXCAVATION, THE ON-SITE GEOTECHNICAL ENGINEER MAY VARY THE DEPTH AND DIMENSIONS OF THE KEY TRENCH AS DEEMED NECESSARY. THE ON-SITE GEOTECHNICAL ENGINEER SHALL RETAIN DOCUMENTATION OF ANY VARIATION FOR FUTURE AS-BUILT SUBMITTALS TO THE CITY OF GULFPORT.
5. BEGIN PLACEMENT OF BACKFILL WITHIN THE KEY TRENCH. THE KEY TRENCH SHALL BE COMPACTED TO THE SPECIFICATIONS LISTED IN ITEM 4 OF THE "BERM AND SOIL COMPACTION SPECIFICATIONS" NOTES. THE KEY TRENCH SHALL BE TESTED PER THE SPECIFICATIONS LISTED IN THAT SECTION.
6. CONTRACTOR SHALL GIVE THE DESIGN ENGINEER A MINIMUM OF 72 HOURS NOTICE PRIOR TO THE INSTALLATION OF THE SPILLWAY.
7. PRIOR TO INSTALLATION, SUBGRADE CONDITIONS ALONG THE SPILLWAY PIPES SHOULD BE EVALUATED BY THE ON-SITE GEOTECHNICAL ENGINEER TO ASSESS WHETHER SUITABLE BEARING CONDITIONS EXIST AT THE SUBGRADE LEVEL. SHOULD SOFT OR OTHERWISE UNSUITABLE CONDITIONS BE ENCOUNTERED ALONG THE PIPE ALIGNMENTS, THESE MATERIALS SHOULD BE UNDERCUT AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE UNDERCUT MATERIALS SHALL BE REPLACED WITH ADEQUATELY COMPACTED STRUCTURAL FILL, LEAN CONCRETE OR FLOWABLE FILL AS DIRECTED BY THE ON-SITE GEOTECHNICAL ENGINEER.
8. IN ORDER TO HELP PROTECT THE SOIL SUBGRADE FROM DETERIORATION (DUE TO EXPOSURE, RAINFALL, SEEPAGE, AND RUNOFF) BEFORE THE CRADLE CAN BE POURED, IT IS STRONGLY RECOMMENDED THAT A 3" TO 4" THICK CONCRETE MUD MAT BE POURED OVER THE SUBGRADE ONCE IT IS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER. THE MUD MAT WILL ALSO PROVIDE BEARING FOR THE BLOCKS THAT TEMPORARILY SUPPORT THE SPILLWAY PIPE UNTIL THE CRADLE CAN BE POURED. THE METHOD OF BLOCK SUPPORT FOR THE PIPE PROPOSED BY THE CONTRACTOR SHOULD BE SUBMITTED TO THE JOHN R. MCADAMS COMPANY FOR REVIEW.
9. BEGIN CONSTRUCTION OF THE NEW EMBANKMENT. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8" THICK LIFTS PRIOR TO COMPACTION, UNLESS DIRECTED OTHERWISE BY THE ON-SITE GEOTECHNICAL ENGINEER. FILL LIFTS SHALL BE CONTINUOUS OVER THE ENTIRE LENGTH OF FILL. IF IT IS NECESSARY, THE EMBANKMENT FILL MATERIAL WILL BE OVERBUILT IN HORIZONTAL LIFTS AND CUT BACK TO FINAL GRADE IN ORDER TO ACHIEVE PROPER COMPACTION.
10. AS CONSTRUCTION OF THE EMBANKMENT MOVES FORWARD, IT WILL BE NECESSARY TO INSTALL THE CONCRETE CRADLE. SEE NOTE ON CRADLE DETAIL (SHEET C9.02). THE PROPOSED STRUCTURAL FILL MATERIAL SHALL BE UTILIZED AS THE FORMWORK FOR THE CONCRETE CRADLE. THE STRUCTURED FILL SHOULD BE INSTALLED AND COMPACTED UP TO THE TOP OF CONCRETE CRADLE ELEVATION. ONCE THE STRUCTURAL FILL REACHES THE NEXT DOWNSTREAM JUNCTION BOX OR HEADWALL AND IS COMPACTED TO THE ELEVATION OF THE TOP OF THE CONCRETE CRADLE, EXCAVATE THE CONCRETE CRADLE TRENCH PER THE PROVIDED DETAILS AND CONSTRUCT THE CONCRETE CRADLE AS PER THE PROVIDED CONCRETE CRADLE DETAIL. THE CRADLE SHALL NOT BE BEDDED ON STONE MATERIAL.
11. INSTALL RISER / BARREL ASSEMBLY.
12. CONSTRUCT EMBANKMENT PER SPECIFICATIONS LISTED IN THE "BERM AND SOIL COMPACTION SPECIFICATIONS" NOTES AND REQUIREMENTS OF THE ON-SITE GEOTECHNICAL ENGINEER. ALL CHARACTERISTICS OF THE EMBANKMENT FILL MATERIAL SHALL MEET THE STANDARDS SET FORTH IN THE "BERM AND SOIL COMPACTION SPECIFICATIONS" NOTES, INCLUDING COMPACTION AND MOISTURE REQUIREMENTS. IF NECESSARY TO ACHIEVE PROPER COMPACTION, THE EMBANKMENT FILL MATERIAL WILL BE OVERBUILT IN HORIZONTAL LIFTS AND CUT BACK TO PROPER FINAL GRADE. ANY HAND COMPACTION ACTIVITIES AROUND SPILLWAY OR DRAIN STRUCTURES SHALL BE CONDUCTED IN 4-INCH LOOSE LIFTS AND BE TO THE SAME COMPACTION AND MOISTURE REQUIREMENTS AS THE ENTIRE EMBANKMENT. ALL COMPACTION AND MOISTURE TESTING SHALL BE CARRIED OUT AS DIRECTED BY THE ON-SITE GEOTECHNICAL ENGINEER AND AS LISTED IN THE "BERM AND SOIL COMPACTION SPECIFICATIONS" NOTES.
13. UPON COMPLETION OF DAM EMBANKMENT, PROMPTLY STABILIZE AND SEED DAM EMBANKMENT PER SEEDING SCHEDULE. PERMANENT GROUND COVER SHALL BE ESTABLISHED PER THE PERMANENT SEEDING SCHEDULE FOUND ON SHEET C9.04.
14. SCHEDULE A FINAL AS-BUILT INSPECTION AND AS-BUILT SURVEY WITH THE ENGINEER AND SURVEYOR. AN AS-BUILT INSPECTION AND SURVEY SHALL BE SCHEDULED BEFORE IMPOUNDING WATER IN THE FACILITY AND A MINIMUM OF 60 DAYS PRIOR TO THE ANTICIPATED DATE OF CERTIFICATION APPROVAL. ANY COMMENTS OR DEFICIENCIES IN THE SCM CONSTRUCTION MUST BE CORRECTED TO THE SATISFACTION OF THE ENGINEER AND OWNER BEFORE CERTIFICATION SHALL BE GRANTED.

OUTLET STRUCTURE MATERIAL SPECIFICATIONS

1. THE 18"Ø RCP OUTLET BARREL SHALL BE CLASS III RCP, MODIFIED BELL AND SPIGOT, MEETING THE REQUIREMENTS OF ASTM C76-LATEST. THE PIPES SHALL HAVE SINGLE OFFSET JOINTS MEETING ASTM C-443-LATEST.
2. THE STRUCTURAL DESIGN FOR THE 4' X 4' (INTERNAL DIMENSIONS) RISER BOX WITH EXTENDED BASE SHALL BE BY OTHERS. PRIOR TO ORDERING THE STRUCTURES, THE CONTRACTOR SHALL PROVIDE, TO THE DESIGN ENGINEER FOR REVIEW, SHOP DRAWINGS AND SUPPORTING STRUCTURAL CALCULATIONS SEALED BY A P.E. REGISTERED IN NORTH CAROLINA DEMONSTRATING THE PERTINENT VERTICAL LOADS ARE SUPPORTED BY THE CONCRETE RISER STRUCTURE.
3. THE RISER BOX OUTLET STRUCTURE SHALL BE PROVIDED WITH STEPS 16" ON CENTER. STEPS SHALL BE PROVIDED ON THE INNER WALL OF THE RISER BOX. STEPS SHALL BE INTEGRALLY CAST IN WALL SECTION 16" VERT. O.C. PLEASE REFER TO SHEET C9.02 FOR LOCATION OF THE RISER STEPS. NOTE THE STEPS SHALL LINE UP WITH THE ACCESS HATCH OF THE TRASH RACK.
4. THE CONCRETE ANTI-FLOTATION BLOCK SHALL BE CAST-IN-PLACE. STEEL REINFORCEMENT AND CONNECTION TO THE RISER SHALL BE PROVIDED IN ACCORDANCE WITH THE DETAIL ON SHEET C9.03. THE CONTRACTOR SHALL ENSURE THE WEIGHT OF THE ENTIRE RISER STRUCTURE IS GREATER THAN OR EQUAL TO 19,740 LBS.
5. THE RISER BOX JOINTS SHALL BE SEALED USING BUTYL RUBBER SEALANT CONFORMING TO ASTM C990-LATEST. IF NECESSARY, THE CONTRACTOR SHALL INCORPORATE A WATERSTOP INTO THE RISER BOX JOINT TO ENSURE A WATERTIGHT CONNECTION. THE CONTRACTOR SHALL PARGE JOINTS ON BOTH THE INSIDE AND OUTSIDE WITH NON-SHRINK GROUT AND INSTALL GALVANIZED STEEL STRAPS.
6. PRIOR TO ORDERING, THE CONTRACTOR SHALL SUBMIT TRASH RACK SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. CONTRACTOR SHALL ENSURE THAT AN ACCESS HATCH IS PROVIDED ON THE TRASH RACK (SEE DETAIL SHEET C9.03 FOR LOCATION) THAT WILL ALLOW FOR FUTURE MAINTENANCE ACCESS. NOTE THE ACCESS HATCH SHALL LINE UP WITH THE ACCESS STEPS AFTER INSTALLATION.
7. ALL POURED CONCRETE SHALL MEET THE FOLLOWING SPECIFICATIONS UNLESS OTHERWISE NOTED:
 - MINIMUM 3000 PSI (28 DAY)
 - SLUMP = 3" - 5"
 - ENTRAINED AIR = 5% - 7%PLEASE NOTE NO CONCRETE SHALL BE POURED WHEN THE AMBIENT AIR TEMPERATURES ARE EXPECTED TO BE ABOVE 85°F OR BELOW 40°F. CAST-IN-PLACE CONCRETE SHALL BE "WET CURED" AFTER FINISHING FOR A MINIMUM OF 48 HOURS.

CAST-IN-PLACE CONCRETE TO BE VIBRATED AS NECESSARY.

ON-SITE GEOTECHNICAL ENGINEER TO TEST AND CERTIFY ALL POURED CONCRETE MEETS THE ABOVE SPECIFICATIONS. CONCRETE CYLINDERS FOR TESTING TO BE OBTAINED AT TIME OF POURING OF CAST-IN-PLACE STRUCTURES.
8. GEOTEXTILE FABRIC FOR THE 18"Ø RCP OUTLET BARREL JOINTS SHALL BE MIRAFI 180N OR ENGINEER APPROVED EQUAL (NON-WOVEN FABRIC).



McADAMS

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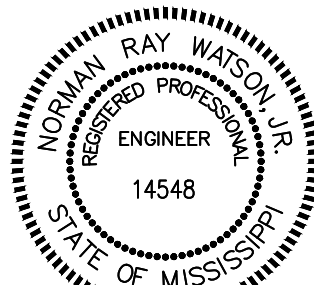
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REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
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6	-	-

PLAN INFORMATION

PROJECT NO.	EX024005
FILENAME	EX024005-SW2
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	NTS
DATE	03. 05. 2025

SHEET

SCM NOTES

C9.01



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
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ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

FINAL DRAWING - ISSUED FOR CONSTRUCTION



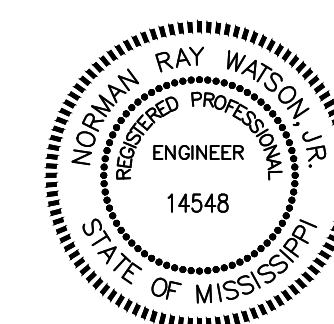
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REVISIONS

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5	-	-
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PLAN INFORMATION

PROJECT NO.	EXO24005
FILENAME	EXO24005-SW2
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	NTS
DATE	03. 05. 2025

SHEET

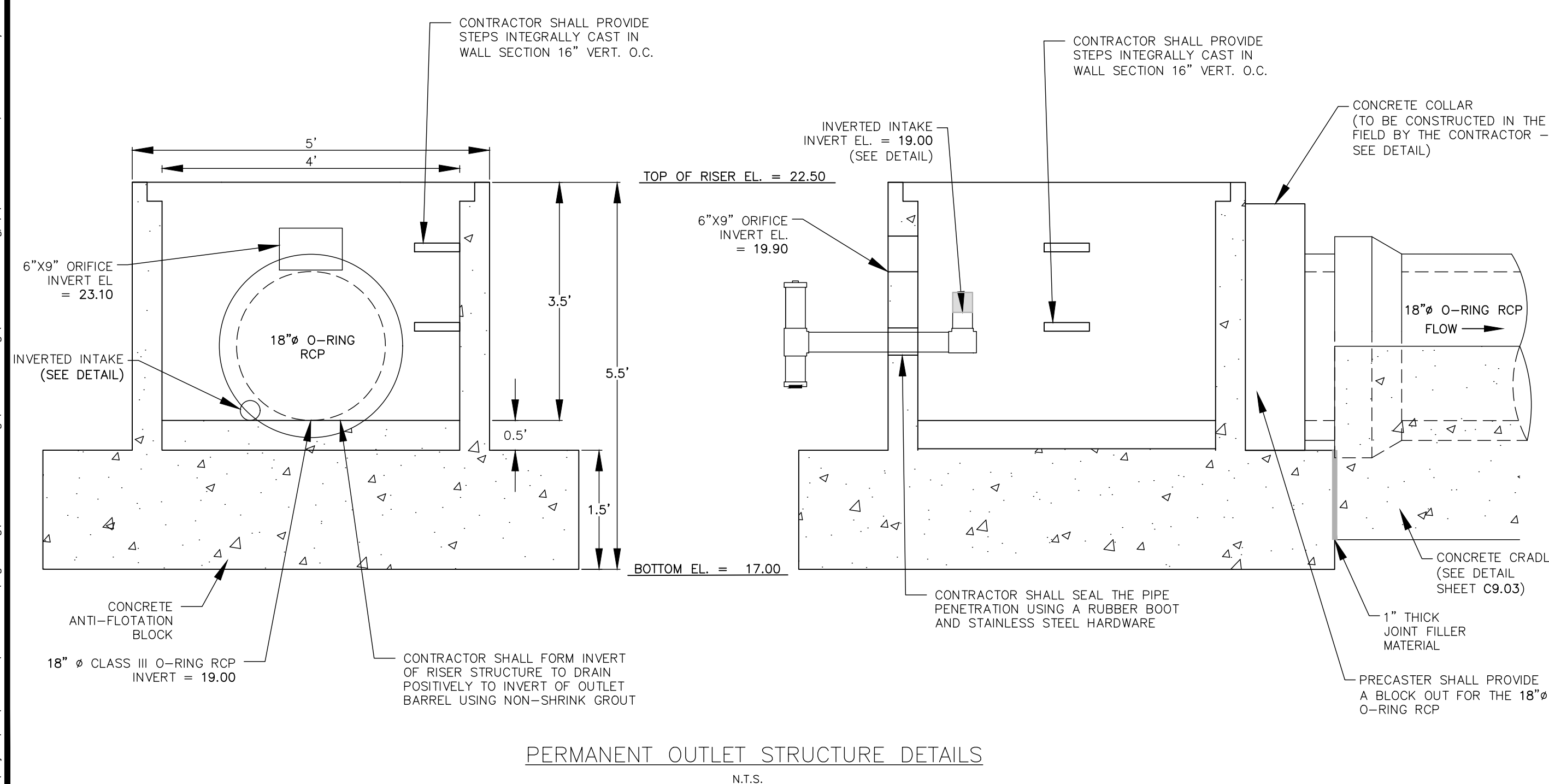
SCM DETAILS

C9.02

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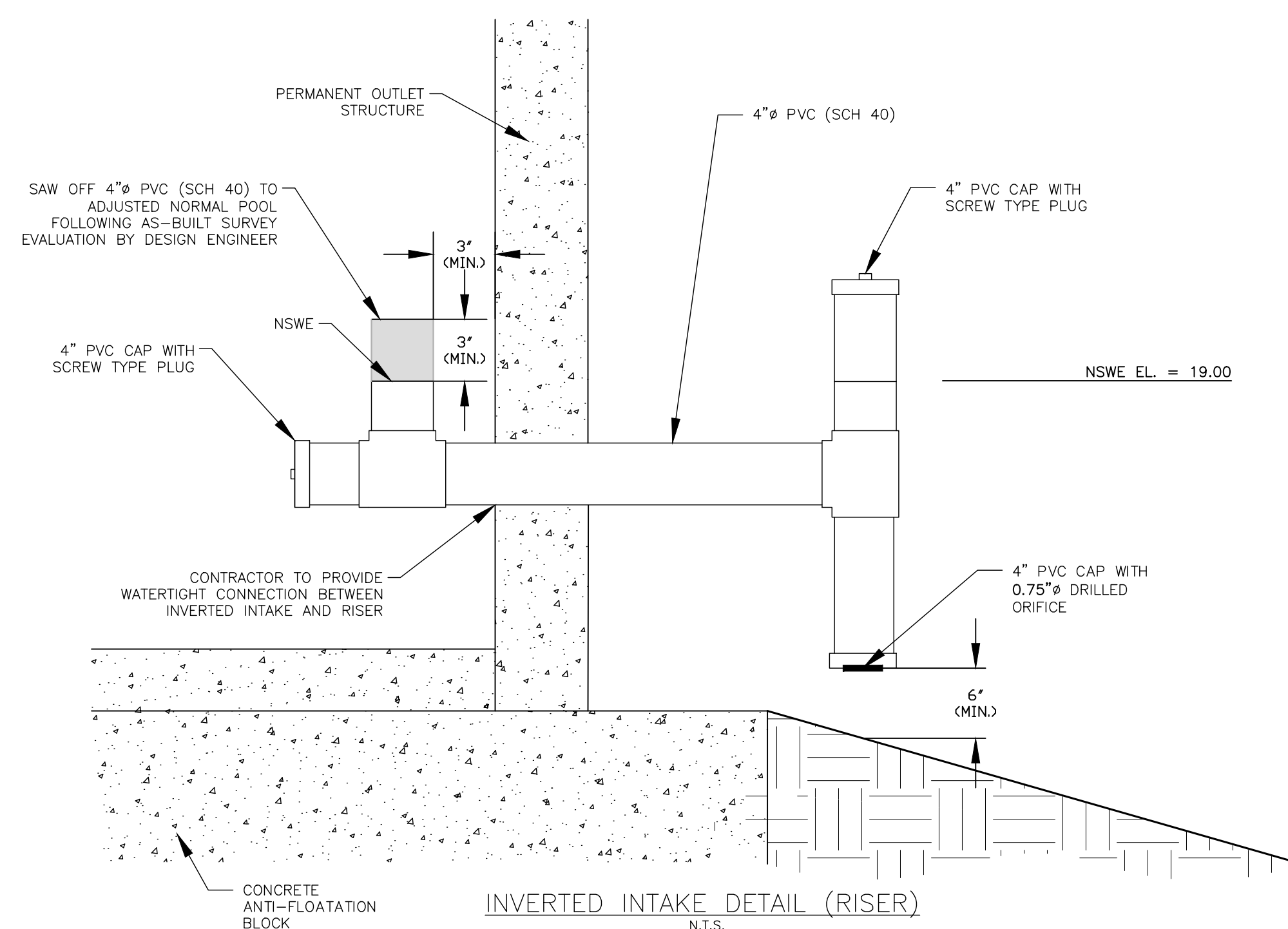
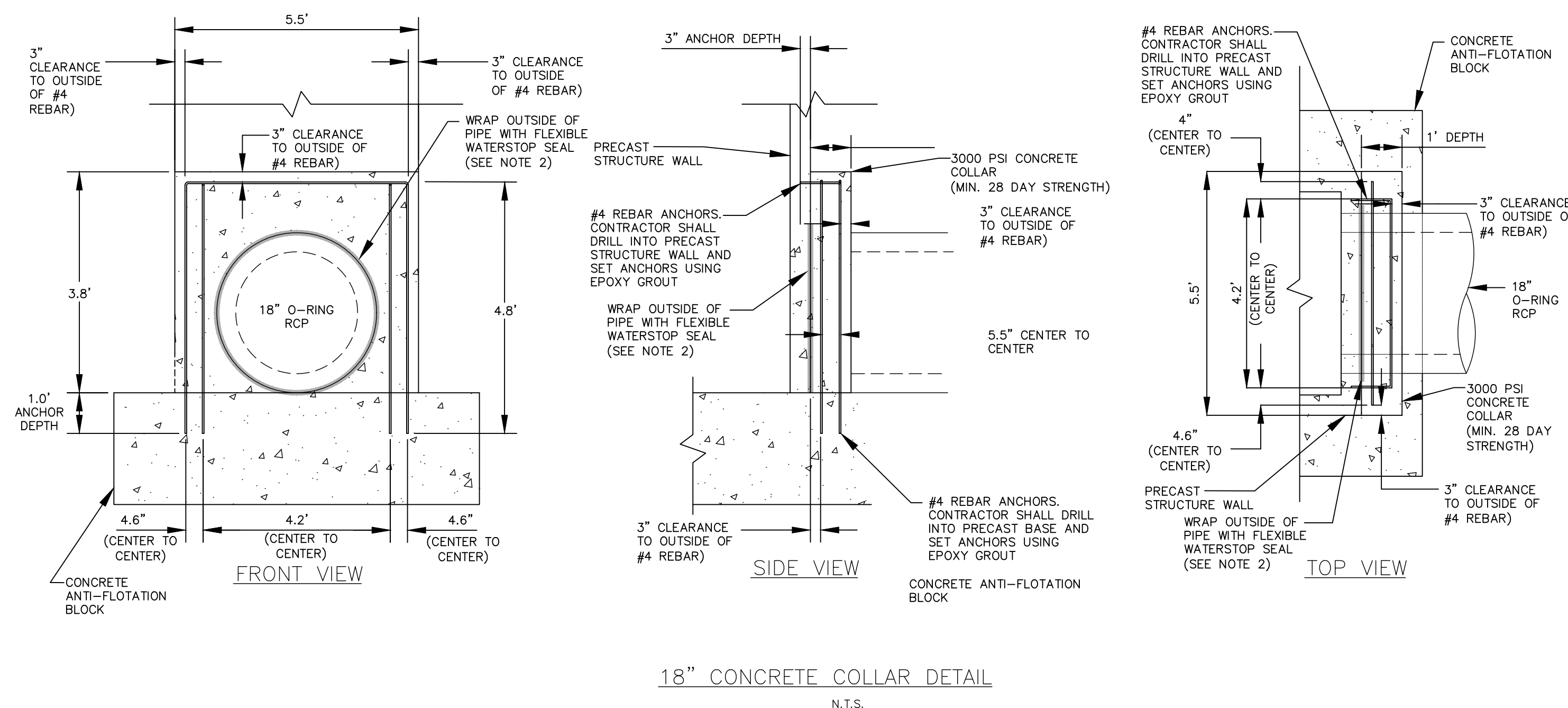


1. CONCRETE ANTI-FLOTATION BLOCK TO BE PROVIDED WITH MINIMUM TEMPERATURE AND SHRINKAGE STEEL REINFORCEMENT.
2. TRASH RACKS NOT SHOWN FOR CLARITY.
3. THE NUMBER OF GUIDES FOR THE VALVE STEM SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. THE VALVE STEM MUST BE OPERABLE FROM THE TOP OF THE RISER VIA THE HANDWHEEL WITH AN INSIGNIFICANT AMOUNT OF PLAY IN THE VALVE STEM.
4. CONTRACTOR SHALL PROVIDE A JOINT IN THE OUTLET BARREL NO MORE THAN 5-FT FROM THE RISER.



NOTES

1. ALL REBAR TO BE #4 REBAR.
2. WRAP OUTSIDE OF PIPE WITH VOLCLAY WATERSTOP-RX® 101 (OR PRE-APPROVED EQUIVALENT) AT THE FACE OF THE PRECAST STRUCTURE WALL. PROVIDE 6" OVER LAP ON THE BOTTOM OF THE PIPE.



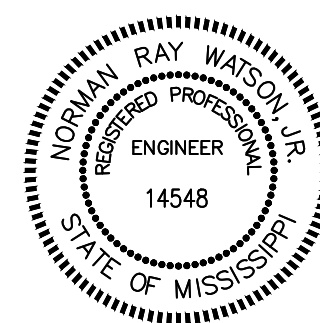
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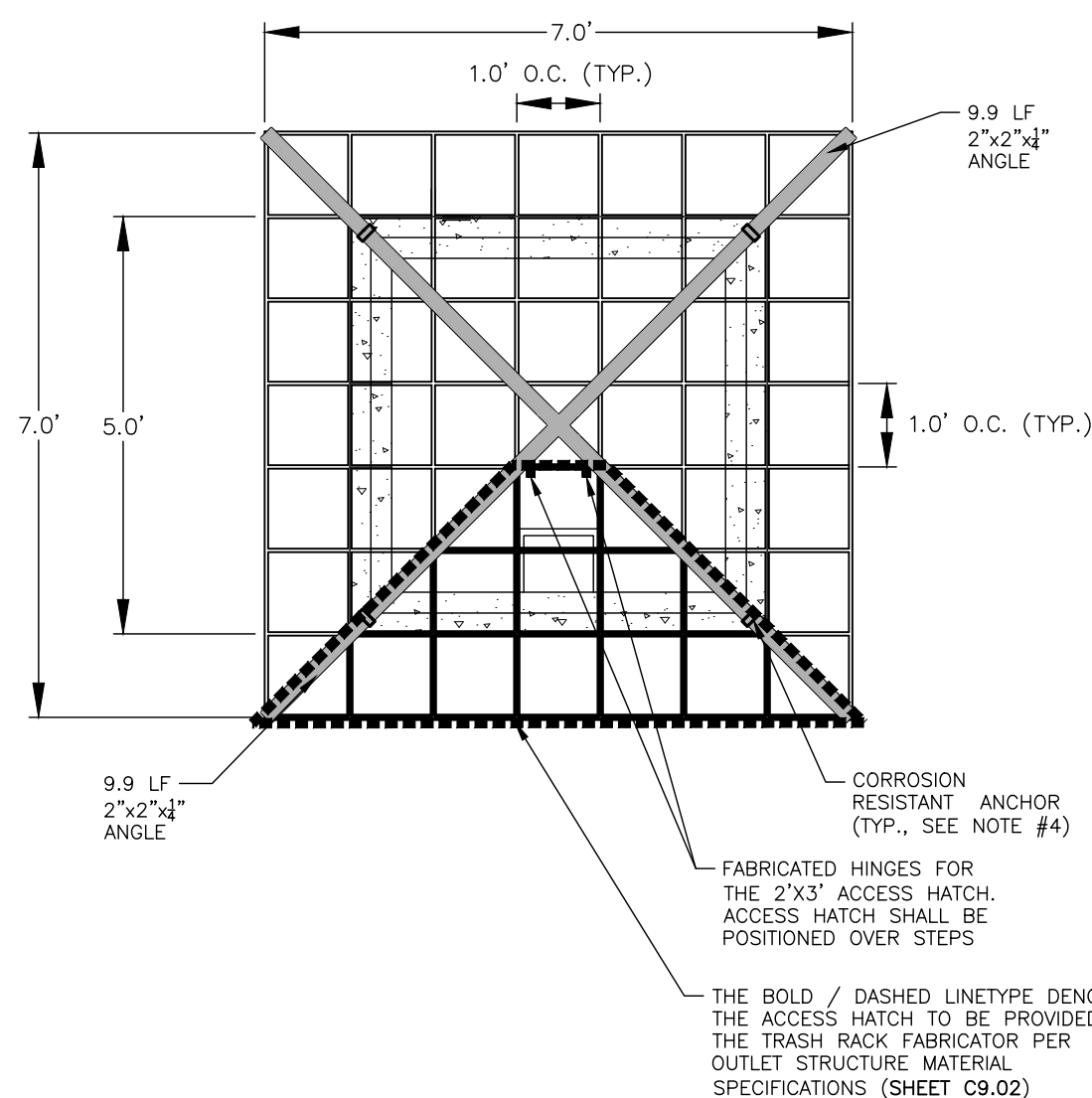


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PROJECT NO.	EXO24005
FILENAME	EXO24005-SW2
CHECKED BY	NRW
DRAWN BY	MD AND MB
SCALE	NTS
DATE	03. 05. 2025

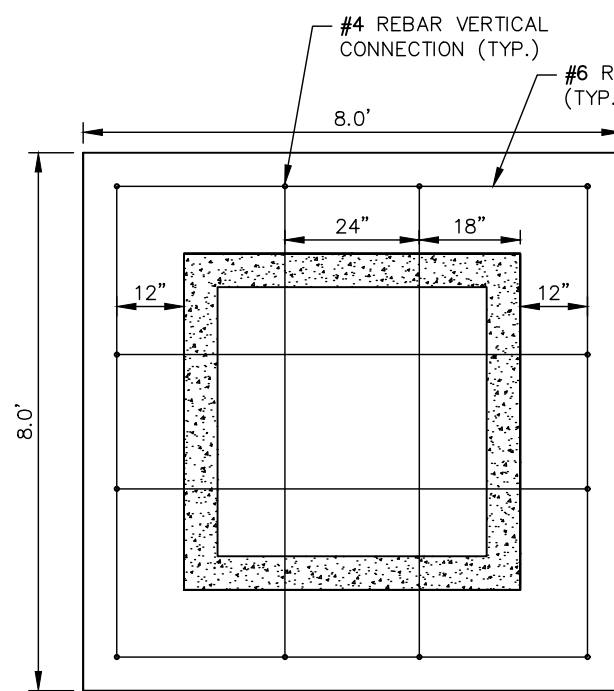
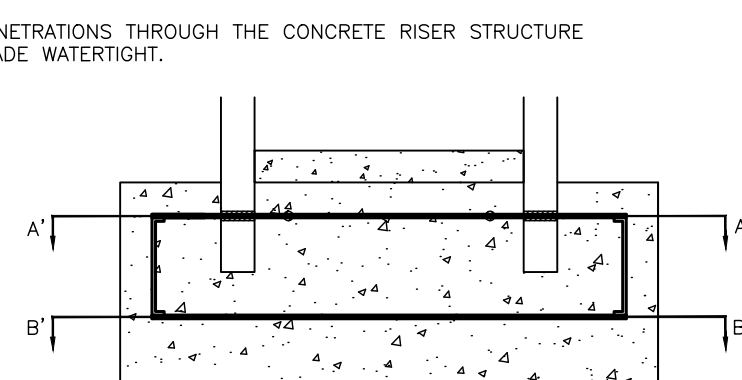
C9.03

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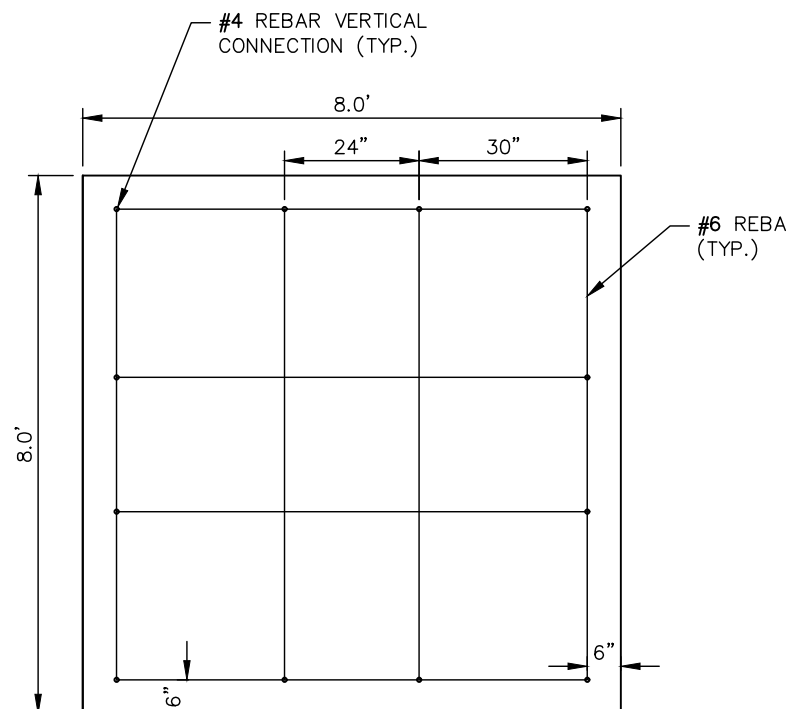
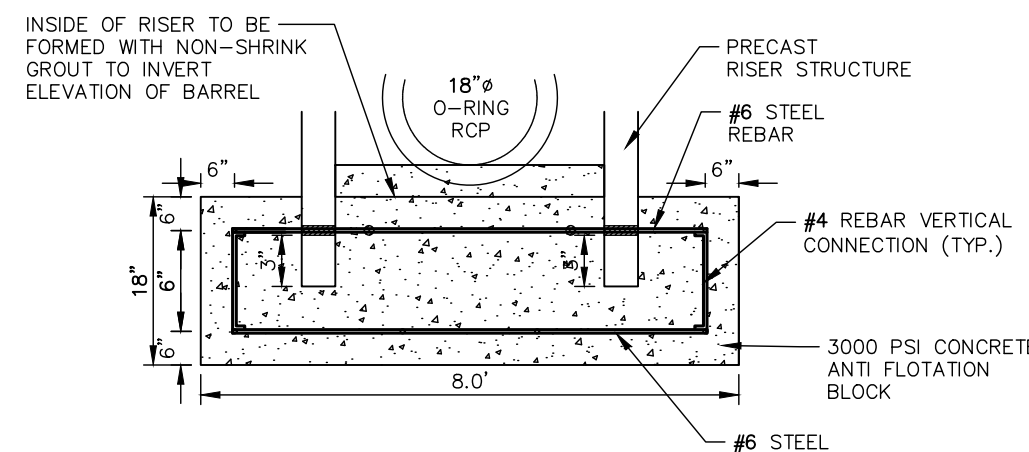


4'X4' RISER TRASH RACK DETAIL
N.T.S.

1. ALL REINFORCING STEEL IN RISER ANTI-FLOTATION BLOCK TO BE GRADE 60 #6 BARS FOR HORIZONTAL CROSSING AND GRADE 60 #4 BARS FOR VERTICAL CONNECTIONS.
2. INSIDE OF RISER BOTTOM TO BE FORMED WITH NON-SHRINK GROUT TO INVERT ELEVATION OF BARREL.
3. ALL PIPE PENETRATIONS THROUGH THE CONCRETE RISER STRUCTURE SHALL BE MADE WATERTIGHT.



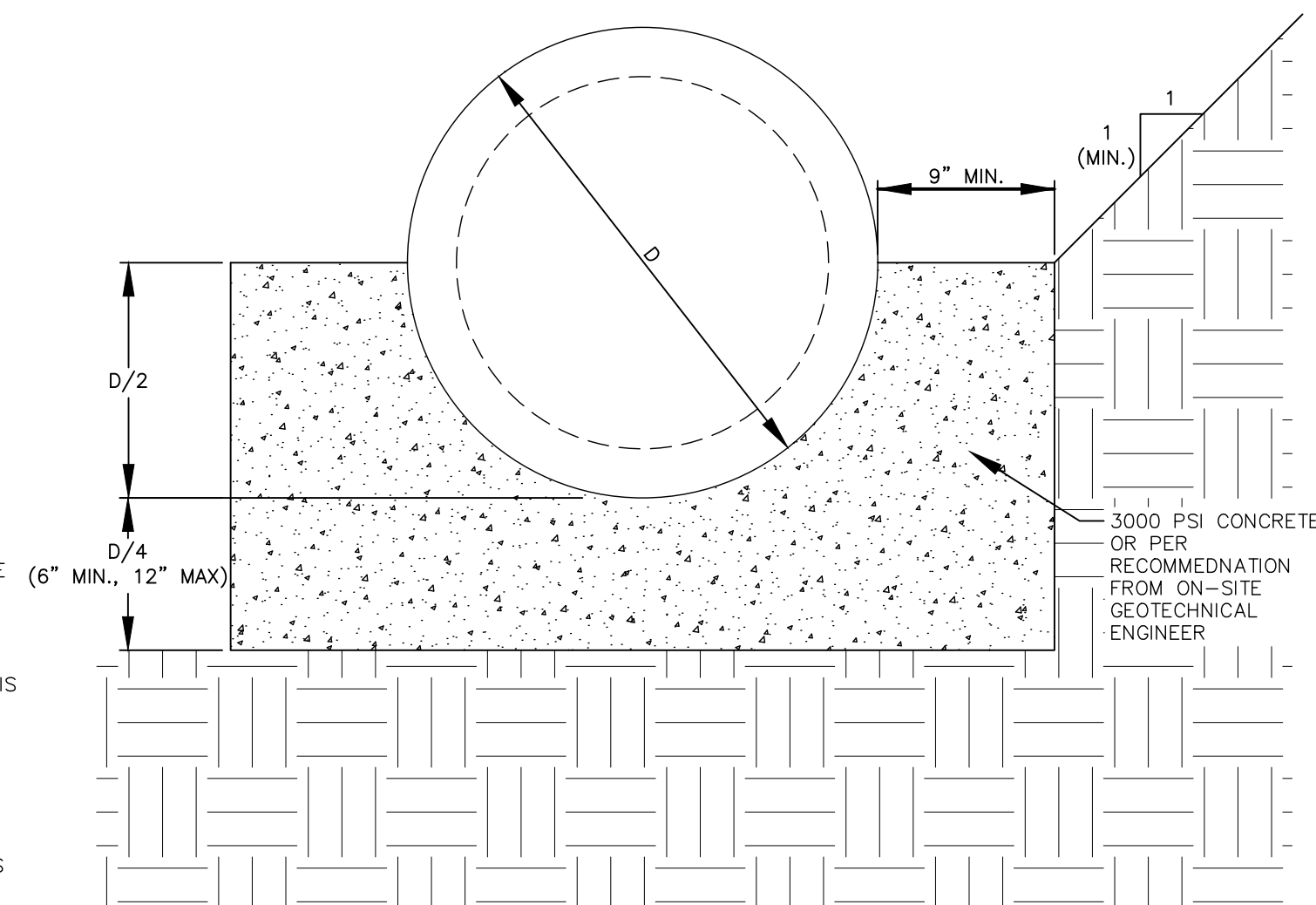
RISER/ANTI-FLOTATION BLOCK CONNECTION



CROSS SECTION B'-B'
N.T.S.

AS AN ALTERNATE TO CONCRETE CRADLE UNDER THE BARREL PIPE (THIS DETAIL), THE CONTRACTOR MAY CHOOSE TO ELIMINATE THE CONCRETE CRADLE AND USE COMPACTED BACKFILL. THE CONSULTING GEOTECHNICAL ENGINEER WILL PROVIDE A MS PERCENT LETTER CERTIFYING THE COMPACTED BACKFILL TO MEET THE DESIGN REQUIREMENTS. MEET THE SPECIFICATIONS OF THE EMBANKMENT COMPACTION REQUIREMENTS AND MOISTURE CONTENT. THIS CERTIFICATION LETTER MUST BE SUBMITTED TO THE DESIGN ENGINEER BEFORE PROCEEDING WITH THE CONSTRUCTION OF THE FACILITY. THE CONTRACTOR SHALL BE SPECIFIC TO THE BARREL PIPE FOR THE FACILITY, AND MUST CLEARLY STATE THAT ALL SOIL MATERIAL UNDER, AROUND, AND ABOVE THE BARREL PIPE MEETS THE BERM MATERIAL SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE PROOF OF PROPER COMPACTION TO BOTH MATERIAL AND COMPACTION, AND MUST STATE THAT ALL MATERIALS UNDER, AROUND, AND ABOVE THE BARREL HAVE BEEN COMPACTED PER THE BERM MATERIAL SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE PROOF OF PROPER COMPACTION (PROCTOR) WITH NO VOID SPACES PRESENT. THE CONTRACTORS INTENT TO UTILIZE THIS ALTERNATIVE MUST BE STATED PRIOR TO CONSTRUCTION TAKING PLACE. THIS ALTERNATIVE IS NOT A REQUIREMENT OF THE DESIGN ENGINEER. BEFORE AN AS-BUILT CERTIFICATION CAN BE ISSUED FOR THIS FACILITY.

1. IF OPTION A IS CHOSEN FROM NOTE 9 OF THE CONSTRUCTION SEQUENCE (SHEET C9.01), THEN BRING GRADE OF DAM EMBANKMENT TO SPRINGLINE OF PIPE ELEVATION. IF OPTION B IS CHOSEN FROM NOTE 9 OF THE CONSTRUCTION SEQUENCE, THEN CONSTRUCT A CRADLE FOR CONCRETE BERM.
2. IF OPTION A IS CHOSEN FROM NOTE 9 OF THE CONSTRUCTION SEQUENCE, THEN EXCAVATE TRENCH FOR CRADLE AND BARREL PER DIMENSIONS ON DRAWINGS. IF OPTION B IS CHOSEN FROM NOTE 9 OF THE CONSTRUCTION SEQUENCE, PROCEED TO STEP 3 BELOW.
3. PLACE BARREL PIPE ON CONCRETE BLOCKS TO GRADE. AT THIS STEP, CONTRACTOR SHALL WRAP A DOUBLE LAYER OF NON-WOVEN GEOTEXTILE FABRIC AROUND EACH JOINT OF THE RCP BARREL IN 2" WIDE STRIPS CENTERED ON JOINT.
4. PLACE CONCRETE FOR CRADLE FOR EACH SECTION FROM ONE SIDE OF THE TRENCH. ALLOW CONCRETE TO FILL ENTIRE AREA UNDER PIPE AND PIPE HAUNCHES AS TO LEAVE NO VOIDS UNDER THE PIPE BEFORE PLACING CONCRETE ON THE OPPOSITE SIDE OF THE TRENCH. PLACE ENTIRE CRADLE AS ONE LIFT (VERTICALLY) PER DRAWINGS.
5. CONCRETE CRADLE MAY BE ELIMINATED PER RECOMMENDATION FROM THE ON-SITE GEOTECHNICAL ENGINEER. ANY DEVIATION FROM THIS DETAIL SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW AND APPROVAL. IF THE CRADLE IS TO BE ELIMINATED, THEN A LETTER FROM AN NC PE CERTIFYING THAT ALL SOIL MATERIAL AROUND, UNDER, AND ABOVE THE BARREL PIPE MEETS THE BERM MATERIAL SPECIFICATIONS STATED ON SHEET C9.01 IS REQUIRED.
6. ALLOW CRADLE TO CURE FOR A MINIMUM OF 7 DAYS BEFORE ANY VIBRATING COMPACTION EQUIPMENT IS USED IN THE VICINITY OF THE BARREL PIPE.
7. TRENCH TO BE BACKFILLED IN 5" LIFTS WHEN COMPACTION IS BY HAND. BACKFILL IS TO BE LIFTED AND COMPACTIONED BY HAND OR WITH A VIBRATING TAMP. THERE MUST BE PRESENT ON 30° RCP BEFORE DRIVING OVER WITH HEAVY EQUIPMENT.



CONCRETE CRADLE DETAIL

1. CONTRACTOR SHALL PROVIDE A JOINT IN THE OUTLET BARREL NO MORE THAN 5-FT FROM THE RISER

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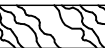


ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF GULFPORT
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

PLANT SCHEDULE

SYMBOL CODE QTY BOTANICAL / COMMON NAME CONT SPACING

GROUND COVERS

	JUEP	1,188 SF	JUNCUS EFFUSUS PYLAEI / SOFT RUSH	1 GAL	12" o.c.
	ZIMI	1,024 SF	ZIZANIOPSIS MILLACEA / GIANT CUTGRASS	6" POT	

SEEDING NOTES

- SEE EROSION CONTROL PLAN SHEET C6.04 FOR TEMPORARY AND PERMANENT SEEDING AND SOD SCHEDULES.
- PERMANENT SEEDING SCHEDULE IS FOR SLOPES OF THE BASIN, TOP OF BERM, AND BASIN FLOOR.

SEEDBED PREPARATION

- CHISEL COMPACTED AREA AND SPREAD TOPSOIL AND COMPOST MIX 3-4 INCHES DEEP OVER ADVERSE SOIL CONDITIONS. TOPSOIL AND COMPOST MIX SHOULD BE INCORPORATED INTO THE FINAL GRADING OF THE AQUATIC SHELF AND BASIN SIDE SLOPES. CONTRACTOR SHOULD SCARIFY THE TOP 3-4 INCHES OF THE COMPACTED FILL TO PROMOTE BONDING WITH TOPSOIL AND INCORPORATE TOPSOIL AND COMPOST MIX.
- TILL THE ENTIRE AREA TO 6 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM GREATER THAN 0.5".
- PER ONE TIME ONLY, APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL, OR INCORPORATE SOIL AMENDMENTS PER SOIL ANALYSIS.
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. AFTER PERMANENT COVER IS ESTABLISHED.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT

PLANTING INSTRUCTIONS

PLANTING TECHNIQUES

- INSURE THAT ROOTS, ONCE REMOVED FROM POT, ARE STRAIGHTENED AND FACE DOWNWARD.
- CREATE PLANTING AREA IN LOOSENEED SOIL FOR EACH PLANT AND EXCAVATE PIT.
- PLACE PLANTS IN PIT INSURING ROOTS ARE FACING COMPLETELY DOWNWARD.
- BACKFILL SOIL AROUND PLANT AND TAMP WITH HAND LIGHTLY, ENSURING NO SOIL OR MULCH COVERS ANY PART OF THE PLANT MATERIAL, AND PROCEED TO NEXT PLANTING LOCATION.
- NEWLY PLANTED PLANTS NEED TO BE FASTENED TO THE SUBSTRATE FOR THE ESTABLISHMENT OF NEW ROOTS.
- ROOTS SHALL BE SPREAD IN THEIR NORMAL POSITION. ALL BROKEN OR FRAVED ROOTS SHALL BE CUT OFF CLEANLY.
- THE DIAMETER OF THE PITS FOR ALL VEGETATIVE STOCK SHALL BE AT LEAST TWICE TIMES THE DIAMETER OF THE ROOT MASS. PLANT PIT WALL SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- SET THE PLANTS UPRIGHT, IN THE CENTER OF THE PIT.
- PLACE THE BACKFILL AROUND THE BASE AND SIDES OF THE ROOT MASS, AND WORK EACH LAYER TO SETTLE BACKFILL AND TO ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF THE BACKFILL. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
- BROKEN OR DAMAGED PARTS WILL BE CUT BACK TO UNDAAMAGED TISSUE, LEAVING AS MUCH GREEN BASAL TISSUE AS POSSIBLE ABOVE THE ROOTS. IF MORE THAN FIFTY PERCENT (50%) OF THE PLANT IS DAMAGED THEN CONTRACTOR SHALL REPLACE THE PLANT.

CONTAINER STOCK / BARE ROOT

- STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER ONCE REMOVED FROM THE CONTAINER.
- IF PLANTS ARE STORED ON SITE, CONTAINER PLANTS WILL NEED TO BE WATERED REGULARLY AND PLACED IN SHADY CONDITIONS UNTIL PLANTING OCCURS.
- BARE ROOT PLANTS ARE FOR IMMEDIATE PLANTING, OTHERWISE SEE (D) BELOW.
- IF BARE ROOTS SPECIMENS ARE NOT TO BE PLANTED WITHIN FOUR (4) DAYS, TEMPORARY HOLDING OF BARE ROOT SPECIMENS ARE TO BE COVERED ENTIRELY BY A SUITABLE MEDIUM (ETC. SOIL, SAWDUST, MULCH OR THE LIKE) AND WATERED REGULARLY SO AS TO NOT DRY OUT.

PLANT LOCATIONS

- NEW PLANTINGS SHALL BE LOCATED WHERE SHOWN ON PLAN EXCEPT WHERE CHANGES HAVE BEEN MADE IN PROPOSED CONSTRUCTION.
- NECESSARY ADJUSTMENTS SHALL BE MADE ONLY AFTER APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

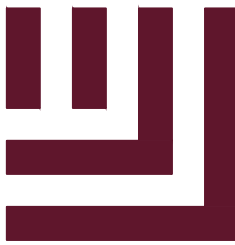
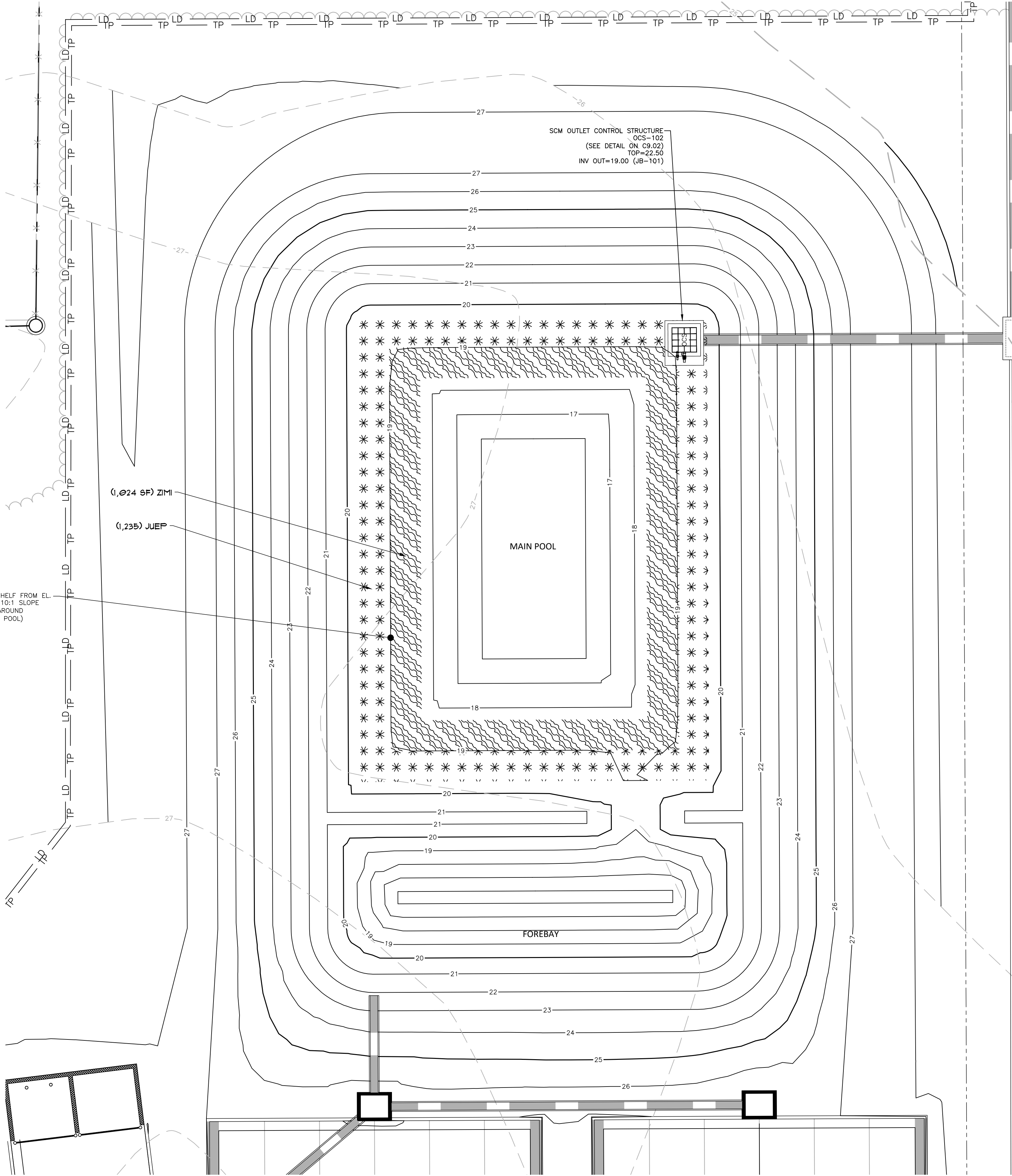
WATER

- WATER SHALL BE POTABLE AND SHALL NOT CONTAIN ELEMENTS TOXIC TO PLANT LIFE.

PLANTING SCHEDULE

- ONCE THE GRADING IS COMPLETE, THE CONTRACTOR SHALL REQUEST AN ON-SITE INSPECTION AND AN AS-BUILT SURVEY PRIOR TO INSTALLATION OF THE STORMWATER MANAGEMENT FACILITY PLANTS. IF THE CONTRACTOR PLANTS THE PROPOSED VEGETATION PRIOR TO AN AS-BUILT SURVEY (AND SUBSEQUENT APPROVAL), ANY CHANGES TO THE GRADING / RE-PLANTING OF PLANTS WILL BE AT THE CONTRACTOR'S EXPENSE.
- ONCE THE ENGINEER HAS APPROVED THE AS-BUILT GRADING, THE CONTRACTOR SHALL PLANT THE PROPOSED STORMWATER MANAGEMENT FACILITY PLANTS SHOWN ON THE LANDSCAPE PLAN FOR THE FACILITY. AFTER COMPLETION OF THE PLANTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A LETTER TO THE ENGINEER CERTIFYING THAT THE PLANTS HAVE BEEN INSTALLED PER THE APPROVED STORMWATER MANAGEMENT FACILITY PLANTING PLAN.
- OPTIMAL PLANTING PERIODS RANGE APPROXIMATELY FROM MARCH 1ST THRU MAY 31ST AND AUGUST 15TH THRU OCTOBER 31ST. FOR FINAL DETERMINATION OF THE SITE'S PLANTING PERIOD, THE CONTRACTOR SHALL COORDINATE WITH A LANDSCAPE PROFESSIONAL REGARDING SCHEDULING FOR PLANT INSTALLATION.
- IT IS RECOMMENDED THAT THE CONTRACTOR TAKE MEASURES TO PREVENT WILDLIFE FROM DAMAGING OR CONSUMING WETLAND PLANTINGS.

NOTE: TOPSOIL AND COMPOST MIX SHOULD BE INCORPORATED INTO THE FINAL GRADING OF THE AQUATIC SHELF. CONTRACTOR SHOULD SCARIFY THE TOP 3- TO 4-INCHES OF THE COMPACTED FILL TO PROMOTE BONDING WITH TOPSOIL.



McADAMS

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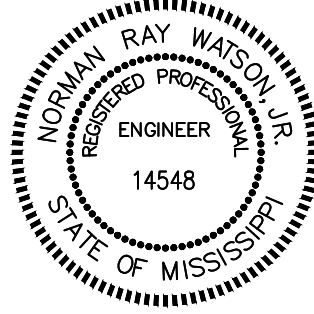
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CONSTRUCTION DRAWINGS
E PASS RD (ADDRESS TO BE ASSIGNED
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GULFPORT, MISSISSIPPI 39507



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. EXO24005
FILENAME EXO24005-SW3
CHECKED BY NRW
DRAWN BY MD AND MB
SCALE 1" = 10'
DATE 03. 05. 2025

SHEET

SCM PLANTING PLAN

C9.04



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF GULFPORT
ENGINEERING DESIGN AND CONSTRUCTION
STANDARDS

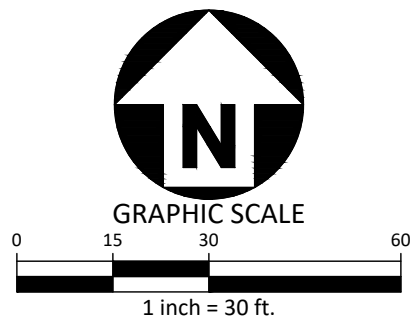
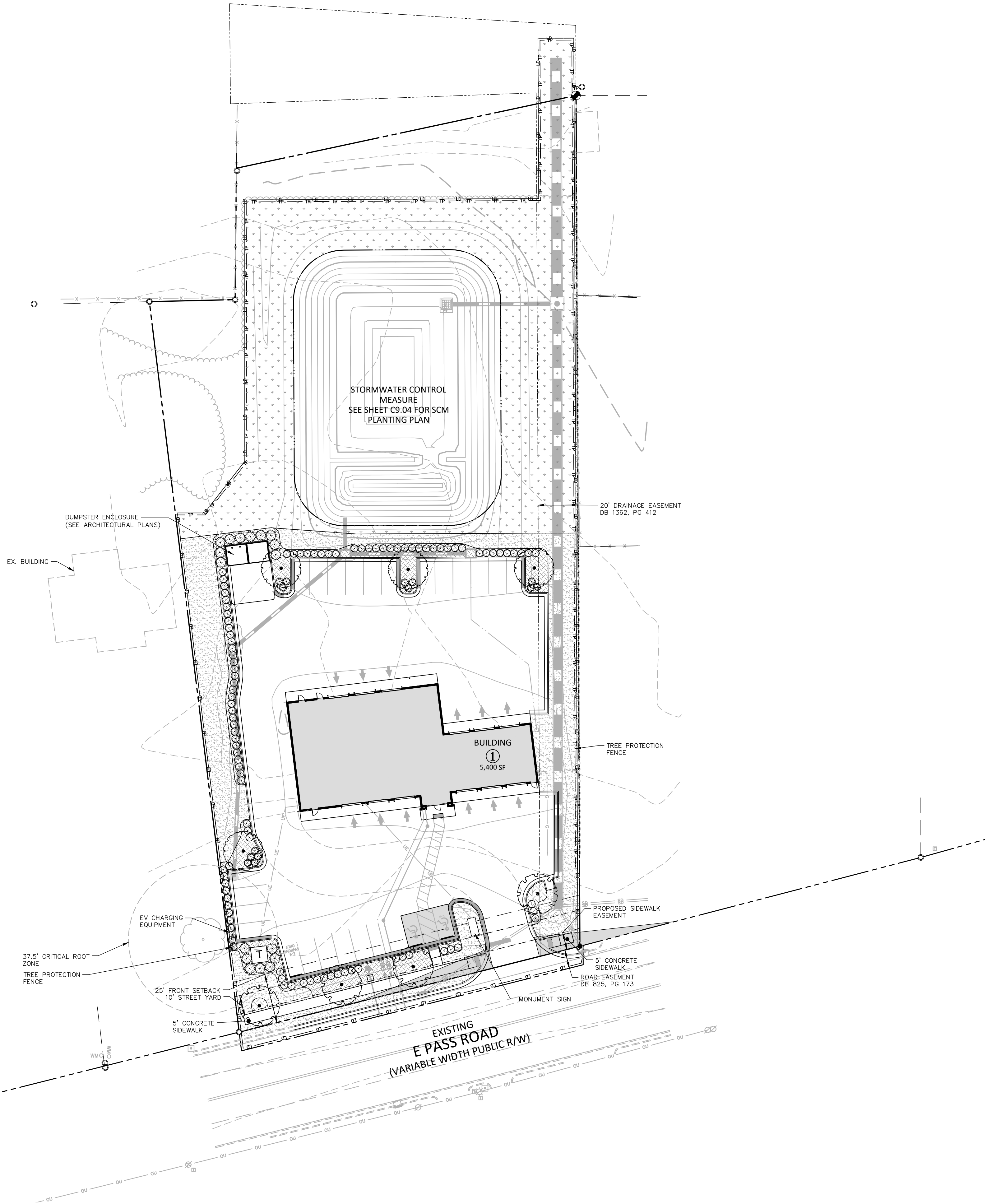
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1 inch = 10 ft.

FINAL DRAWING - ISSUED FOR CONSTRUCTION

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FINAL DRAWING - ISSUED FOR CONSTRUCTION

GULFPORT REQUIRED PLANTING CALCULATIONS			
TOTAL SITE AREA		81,795 SF / 1.88 AC	
PARKING SPACES PROVIDED		25 SPACES TOTAL	
IMPERVIOUS AREA (MAX ALLOWED: 90% OF SITE)	EXISTING:	0 SF / 81,795 SF (0% OF SITE)	
	PROPOSED:	34,400 SF / 81,795 SF (42% OF SITE)	
DISTURBED AREA		1.75 ACRES	
LANDSCAPE FRONTAGE REQUIREMENTS (E. PASS ROAD)	REQUIRED:	10 FT LANDSCAPED STRIP; 30 FT MAX. SPACING OF TREES	
	PROVIDED:	10 FT LANDSCAPED STRIP; 30 FT MAX. SPACING OF TREES	
LANDSCAPED AREA REQUIREMENTS	REQUIRED:	8,180 SF; 10% OF SITE AREA (81,795 SF x 0.10)	
	PROVIDED:	27,735 SF; 33.9% OF SITE AREA	

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
TREES					
	QVH	4	QUERCUS VIRGINIANA 'QVTHA' HIGHRISE LIVE OAK	2"	10'-12'
STREET TREES					
	NYS	4	NYSSA SYLVATICA TUPELO	2"	8'-10'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
SHRUBS					
	IVSC	30	ILEX VOMITORIA 'SCHILLINGS' SCHILLINGS YAUPOH HOLLY	3 GAL	18" MIN
	LEAX	14	LEUCOTHOE AXILLARIS COASTAL LEUCOTHOE	3 GAL	18" MIN
	OFCW	17	OSMANTHUS X FORTUNEI 'CARL WHEELER' CARL WHEELER FORTUNE OSMANTHUS	7 GAL	36"
	PTTN	25	PITTOSPORUM TOBIRA 'NANUM' DWARF JAPANESE PITTOSPORUM	3 GAL	18" MIN
	TGBB	46	TERNSTROEMIA GYMNANTHERA 'CONTHERY' BRONZE BEAUTY™ CLEYERA	3 GAL	18" MIN
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
MULCHED AREA					
	MULCH	3,718 SF	HARDWOOD MULCH	--	
SOD/SEED					
	SOD	7,973 SF	EREMOCHLOA OPHIUROIDES CENTIPEDE SOD	SOD	
	THFB	16,043 SF	TURF HYDROSEED DROUGHT TOLERANT FESCUE BLEND	SEED	

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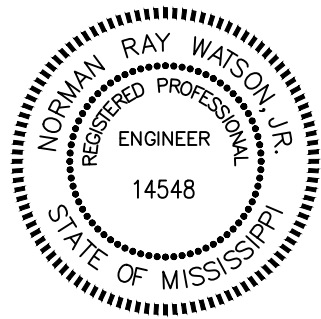
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REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

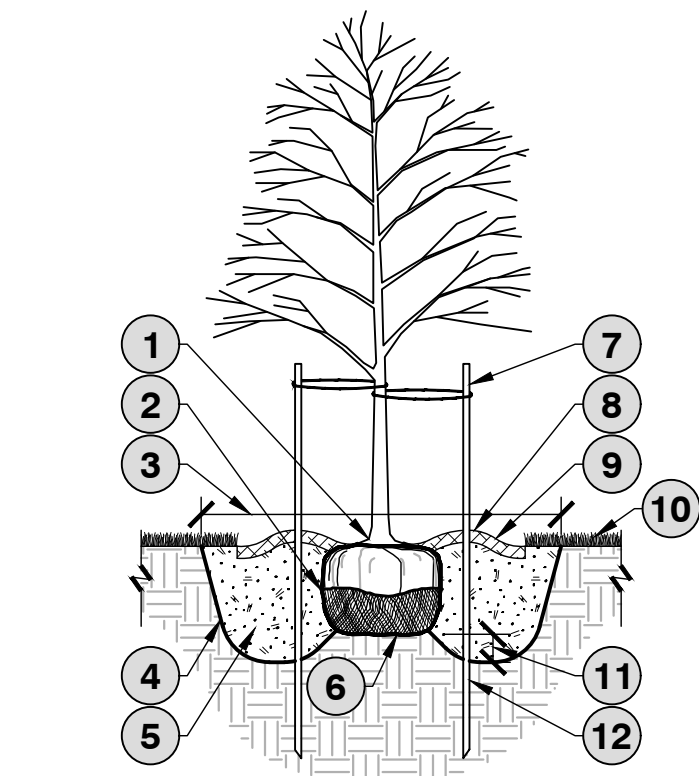
PLAN INFORMATION

PROJECT NO.	EX024005
FILENAME	EX024005-LS1
CHECKED BY	DLI/ASB
DRAWN BY	CAB
SCALE	1" = 30'
DATE	03.05.2025

SHEET

LANDSCAPE PLAN

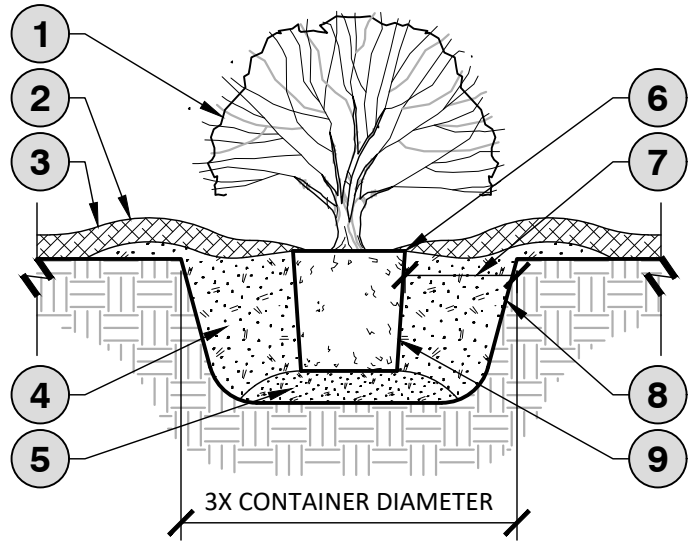
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NOTES:

1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

1. TRUNK FLARE AND TOP OF ROOT BALL SHOULD BE 2" ABOVE FINISHED GRADE AFTER SETTLING
2. CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS. IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUR OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
3. WIDTH OF PLANTING HOLE SHALL BE 3 TIMES THE ROOT BALL DIAMETER IN HIGHLY COMPACTED OR CLAY SOIL; 2 TIMES THE ROOT BALL DIAMETER MINIMUM IN ALL OTHERS
4. DIG WIDE PLANTING HOLE WITH TAPERED SIDES.
5. TO STABILIZE, COMPACT THE PLANTING SOIL MIX BACKFILL AROUND ROOT BALL; COMPACT SOIL BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPING.
6. SET ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLING.
7. IF STAKING IS NECESSARY, USE TWO OPPOSING STAKES WITH SEPARATE FLEXIBLE TIES. REMOVE STAKING AT END OF FIRST GROWING SEASON.
8. 4" RAISED RING OF SOIL TO DIRECT WATER INTO ROOT BALL - ESPECIALLY IMPORTANT IF TOP OF ROOT BALL IS RAISED ABOVE GRADE
9. 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNK.
10. FINAL GRADE
11. 5"-7" DEEPER THAN ROOT BALL FOR LOWERED PLANTING HOLE AS NEEDED WITH POOR DRAINAGE
12. EXTEND STAKES INTO 24" OF UNDISTURBED SOIL.



NOTES:

1. SELECT SHRUBS THAT MEET THE SPECIFIED HEIGHT IN THE PLANT SCHEDULE, MEASURED PER THE AMERICAN STANDARD FOR NURSERY STOCK METHODS; PEST AND DISEASE FREE; CROWN WITH FULL FOLIAGE; GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC PLANT SPECIES.
4. THOROUGHLY SOAK THE SHRUB ROOT BALLS AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

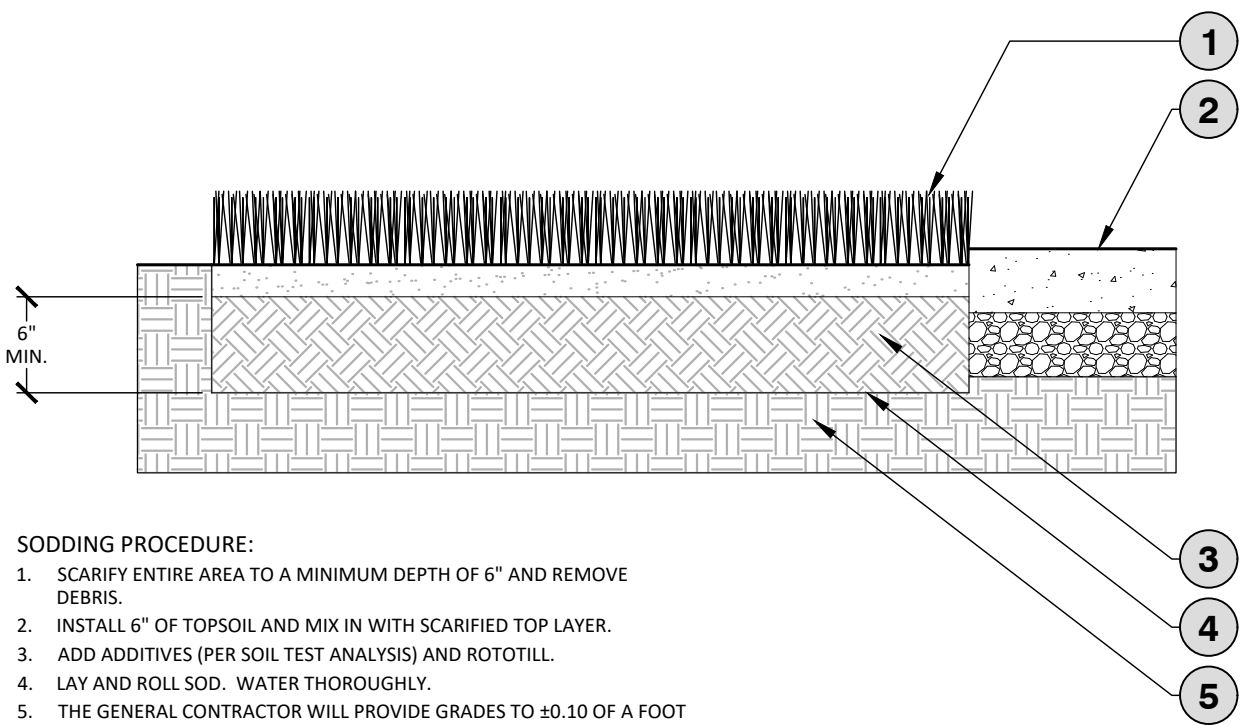
1. PRUNE PROPORTIONALLY TO COMPENSATE FOR REDUCTION OF ROOTS AND TO PROMOTE NATURAL GROWTH CHARACTER.
2. FORM 2" DEEP SAUCER
3. 3" BARK MULCH; DO NOT PLACE MULCH WITHIN 3" OF TRUNK/STEM
4. PLANTING SOIL MIX BACKFILL TO BE COMPACTED BY SOAKING WITH WATER AND OR LIGHTLY HAND TAMPED
5. PLANTING SOIL MIX TO BE TAMPED TO AVOID SETTLING
6. TOP OF ROOTBALL SHALL BE 1" HIGHER THAN ADJACENT FINISHED GRADE
7. 6" MIN. GAP BETWEEN ROOT BALL AND UNDISTURBED SOIL. WHERE THERE IS HEAVY CLAY SOIL, THE HOLE SHOULD BE 3 TIMES THE CONTAINER DIAMETER.
8. SUBSOIL BROKEN WITH PICK ON SIDES AND BOTTOM OF HOLE
9. FOR CONTAINERS, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER. IF USING BALED AND BURLAP; CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL AND REMOVE DURING BACKFILL PROCESS.

LANDSCAPE NOTES

1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE CITY OF GULFPORT AND THE STATE OF MISSISSIPPI STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES, NEW AND PRIOR EXISTING, BEFORE BEGINNING LANDSCAPE INSTALLATION. DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. THE LANDSCAPE PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE, GRADING DRAWINGS, ETC.
5. CONTRACTOR SHALL FULLY REVIEW PLANS PRIOR TO INSTALLATION AND SHALL NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS, OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
6. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND LANDSCAPE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID/PROPOSAL.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED AND RESERVING / SECURING PLANT MATERIAL AS NECESSARY TO MEET THE REQUIREMENTS OF THE LANDSCAPE PLAN.
8. PLANTS TO MEET MINIMUM REQUIREMENTS AS SPECIFIED IN THE PLANT SCHEDULE. ROOT TYPE MAY BE FREELY SUBSTITUTED FOR BALED AND BURLAPPED OR CONTAINER GROWN TREES, WITH OTHER SPECIFICATIONS REMAINING UNCHANGED. OTHER CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO PROCUREMENT OF PLANT MATERIAL.
9. DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS OR REVISIONS WITHOUT APPROVAL.
10. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
11. CONTRACTOR SHALL VERIFY CONDITIONS AND ELEVATIONS OF EXISTING TREES TO REMAIN ADJACENT TO OR WITHIN LIMITS OF DISTURBANCE PRIOR TO INSTALLATION OF NEW PLANT MATERIAL. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TESTING, AMENDING AND SPREADING OF TOPSOIL PRIOR TO PLANT INSTALLATION, SUPPLEMENTING WITH AMENDMENTS TO ADJUST PH AND FERTILITY AS NECESSARY BASED ON THE TEST RESULTS.
13. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
14. CONTRACTOR SHALL PREPARE PLANTING BEDS BY TILLING SOIL TO A 12" DEPTH PRIOR TO INSTALLING PLANT MATERIAL. CONTRACTOR SHALL ENSURE THAT SHALLOW BEDROCK WILL NOT INHIBIT THE ROOT GROWTH OF PLANT MATERIAL. PLANTING BEDS SHALL NOT BE BACKFILLED WITH ANY MATERIAL OTHER THAN AMENDED OR IMPORTED PLANTING SOIL.
15. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
16. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST [6 INCHES] PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
17. FINE GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. HAND ROLL AND RAKE, REMOVE RIDGES AND DEBRIS, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
18. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN PLANTING AREAS.
19. AFTER TREE PLANTING HOLES HAVE BEEN DUG AND PRIOR TO INSTALLATION OF TREES, CONTRACTOR TO CONFIRM THAT WATER DRAINS OUT OF THE SOIL. USE LOWERED PLANTING HOLE DEPTH AND INSTALL ALTERNATIVE DRAINAGE AND AERATION SYSTEMS AS REQUIRED.
20. PERFORM PERCOLATION TEST FOR EACH TREE PIT. PROVIDE GRAVEL SUMP FILTER FABRIC & VENT PIPE IF DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS. INCLUDE ALL SUMPS IN BASE BID. SHOULD SUMPS NOT BE NECESSARY AFTER PERCOLATION TEST, PROVIDE CHANGE ORDER DEDUCT TO OWNER.
21. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES OF THE HOLE WITH A SHOVEL TO ELIMINATE GLAZING AND TO CREATE THE SPECIFIED SIDE SLOPE ON THE INSIDE OF THE PLANTING HOLE.
22. CONTRACTOR SHALL KEEP AREAS OF WORK CLEAN, NEAT, AND ORDERLY. PAVED SURFACES ARE TO BE CLEANED OF SOIL AND DEBRIS AT THE CLOSE OF EACH WORKDAY.
23. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS, AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICANHORT (F.K.A. AMERICAN NURSERY & LANDSCAPE ASSOCIATION).
24. PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT.
25. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD THE SOIL TOGETHER FIRMLY, BUT NOT SO LONG AS TO HAVE BECOME POT BOUND. CONTAINER GROWN STOCK SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
26. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY.
27. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
28. PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES, AND/OR FOLIAGE OF THE PLANT. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING. MISHANDLED PLANT MATERIAL SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT. PLANTS WITH BROKEN ROOT BALLS OR SUBSTANTIAL DAMAGE SHALL BE REPLACED PRIOR TO PLANTING.
29. CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL PRIOR TO INSTALLATION. CONFLICTS OR DISCREPANCIES SHALL BE FIELD ADJUSTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NOTIFY THE GOVERNING JURISDICTION AND OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT OF SIGNS, POWER LINES, OR OTHER CONFLICTS BEFORE PLANTING TREES.
30. NO TREE PLANTING SHALL OCCUR WITHIN SIGHT DISTANCE TRIANGLE AREAS INDICATED ON THE PLAN SET. CONTRACTOR SHALL STAKE THE LOCATION OF TREE PLANTING IN THE RIGHT-OF-WAY IN THE FIELD PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND AUTHORITIES HAVING JURISDICTION. OWNER SHALL AGREE TO MAINTAIN THE STRUCTURE OF TREE PLANTING IN THE RIGHT-OF-WAY TO ELIMINATE SIGHT DISTANCE CONFLICTS.
31. PROPOSED TREES TO BE PLANTED A MINIMUM 20 FEET FROM LIGHT POLES AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
32. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM FIRE HYDRANTS AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
33. CONTRACTOR SHALL LAY OUT ON THE GROUND SHRUBS, ORNAMENTAL GRASSES, AND GROUNDCOVERS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL ANTICIPATE THAT SOME REARRANGEMENT OF MATERIAL WILL OCCUR.
34. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
35. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL NOT COVER THE ROOT FLARE.
36. MULCH SHALL BE ORGANIC, FREE OF TRASH, AND MAINTAINED WEED FREE. MULCH SHALL BE APPLIED IMMEDIATELY AFTER COMPLETION OF PLANTING OPERATIONS.
37. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE VALVES, PIPE, HEADS, FITTINGS, CONTROLLER, AND BACKFLOW PREVENTOR, AND PROVIDE 100% COVERAGE OF SOD, SEED, AND PLANTING BEDS. SEE IRRIGATION DRAWINGS.
38. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. CONTRACTOR WILL REPLACE PLANT MATERIAL WHICH REMAINS UNHEALTHY BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
39. CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTED AREAS IN ADDITION TO IRRIGATED AREAS THROUGHOUT THE WARRANTY PERIOD TO ENSURE PLANT ESTABLISHMENT.
40. REPAIR OR REPLACE, IN A MANNER APPROVED BY THE LANDSCAPE ARCHITECT, NEW TREES AND OTHER PLANTS THAT ARE DAMAGED AFTER INSTALLATION BY CONSTRUCTION OPERATIONS.
41. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND INFORM THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. CONTRACTOR SHALL REMOVE DEAD AND UNHEALTHY PLANT MATERIAL AND IMMEDIATELY REPLACE AT THE CONTRACTOR'S EXPENSE.
42. CONTRACTOR SHALL REMOVE GUYS AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
43. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
44. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.

01 TREE PLANTING

SCALE:1/4" = 1'-0"



SODDING PROCEDURE:

1. SCARIFY ENTIRE AREA TO A MINIMUM DEPTH OF 6" AND REMOVE DEBRIS.
2. INSTALL 6" OF TOPSOIL AND MIX IN WITH SCARIFIED TOP LAYER.
3. ADD ADDITIVES (PER SOIL TEST ANALYSIS) AND ROTOTILL.
4. LAY AND ROLL SOD - WATER THOROUGHLY.
5. THE GENERAL CONTRACTOR WILL PROVIDE GRADES TO ±0.10 OF A FOOT OF PROPOSED GRADES.

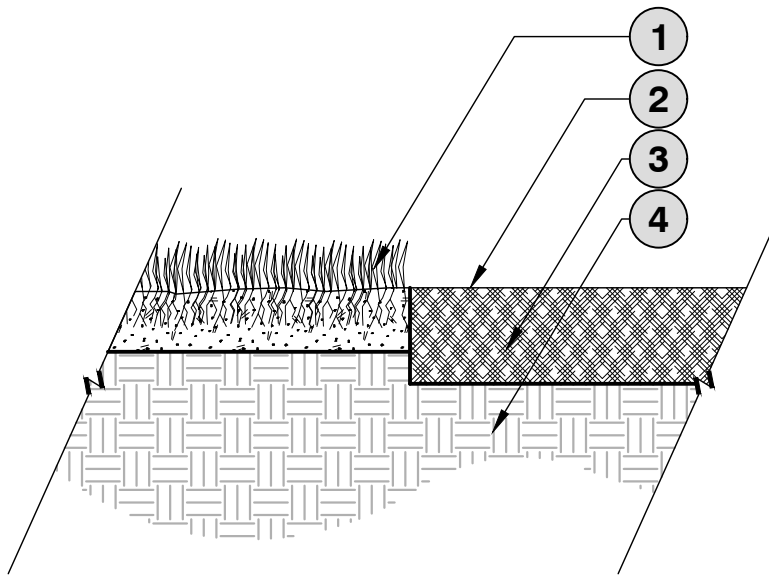
1. SOD - PROVIDE CLEAN, SMOOTH, CONTINUOUS EDGE BETWEEN SOD AND MULCHED AREAS
2. ADJACENT SURFACE (SEE SITE PLANS)
3. BREAK THROUGH AND REMOVE ALL "HARDPAN" AND DEBRIS TO ALLOW FOR PERCOLATION AND POSITIVE DRAINAGE
4. UNDISTURBED SUBGRADE

03 SOD INSTALLATION

SCALE:1" = 1'-0"

02 SHRUB PLANTING

SCALE:1/2" = 1'-0"



NOTES:

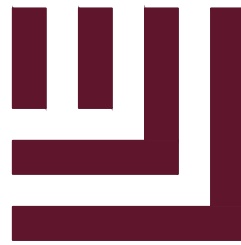
1. CONTRACTOR IS RESPONSIBLE FOR PROCURING SUFFICIENT QUANTITIES OF TRIPLE SHREDDED HARDWOOD MULCH TO ACHIEVE THE SPECIFIED FINAL GRADE OF PLANTING AREAS.
2. HARDWOOD MULCH SHALL BE FREE OF DEBRIS, SOIL, AND CONTAMINATES BEFORE INSTALLATION.
3. PLANTING AREAS TO BE FREE FROM DEBRIS, INCLUDING WEEDS, STONES, AND TRASH, BEFORE INSTALLING HARDWOOD MULCH.
4. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF UNSUITABLE AND/OR SURPLUS MATERIALS FROM THE SITE.

04 HARDWOOD MULCH SURFACE

SCALE:2" = 1'-0"



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF GULFPORT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



McADAMS

The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Lewisville, Texas 75056

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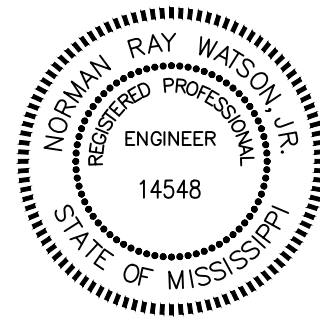
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BY PLANNING DEPARTMENT)
GULFPORT, MISSISSIPPI 39507



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. EXO24005
FILENAME EXO24005-L51
CHECKED BY DL/ASB
DRAWN BY CAB
SCALE AS SHOWN
DATE 03. 05. 2025

SHEET

LANDSCAPE DETAILS

L5.10